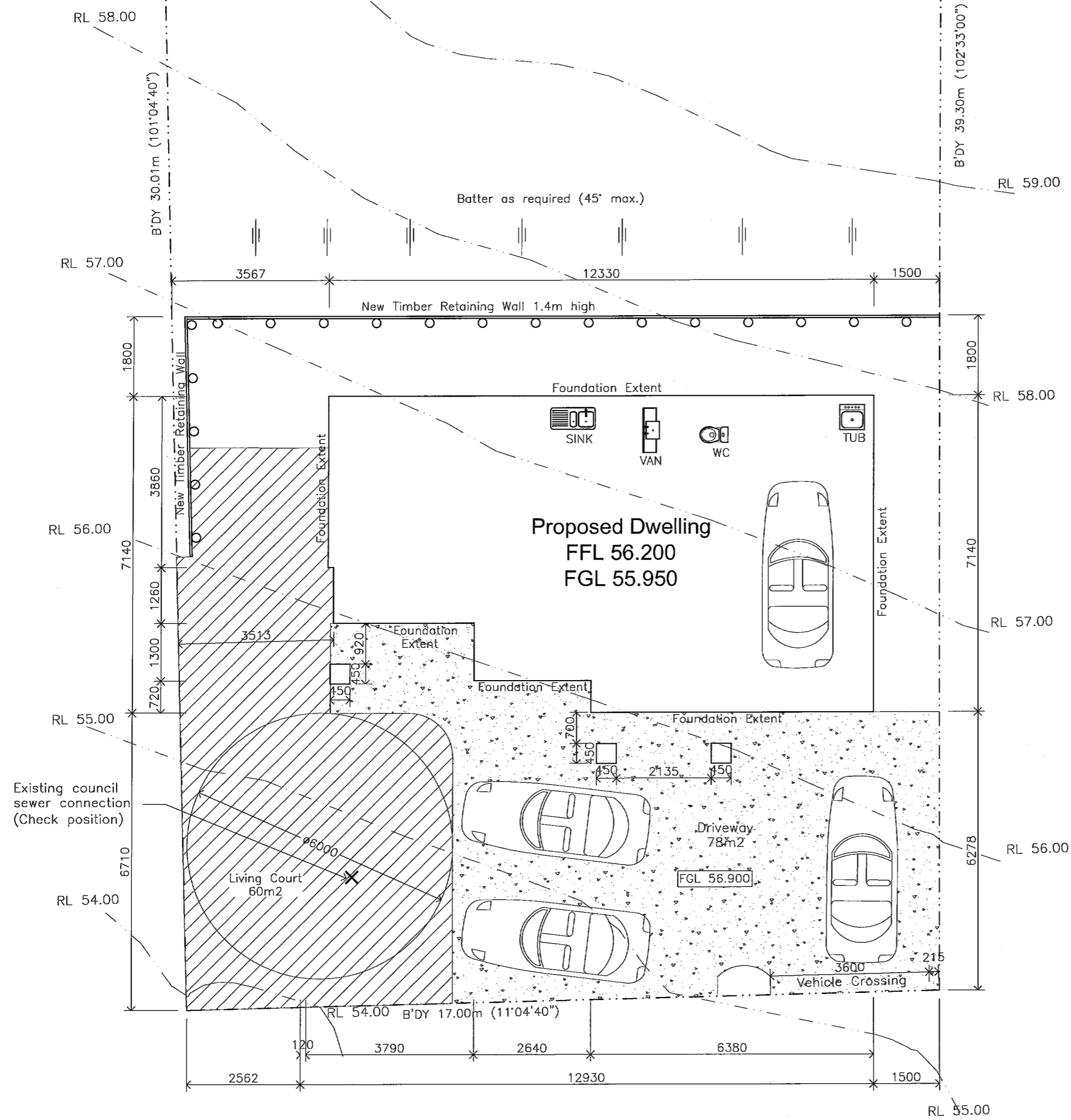


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LOT 65 - DP 392290, 32 ALPERS RIDGE, RIVER GARDENS, CAMBRIDGE.

BEFORE CONSTRUCTION BEGINS, BUILDER MUST CHECK ALL DIMENSIONS ARE CORRECT AND ALL CONSTRUCTION WORK COMPLIES WITH THE NZS3604:2011 AND NEW ZEALAND BUILDING CODE, LOCAL BODY BYLAWS AND RELEVANT NEW ZEALAND STANDARDS.



NORTH

Lot 65 - DP 392290

NOTES:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- CHECK POSITION OF DWELLING WITH OWNER PRIOR TO COMMENCING CONSTRUCTION

AREA'S:

TOTAL SITE AREA = 614m²

PERMISSIBLE SITE COVERAGE=40%

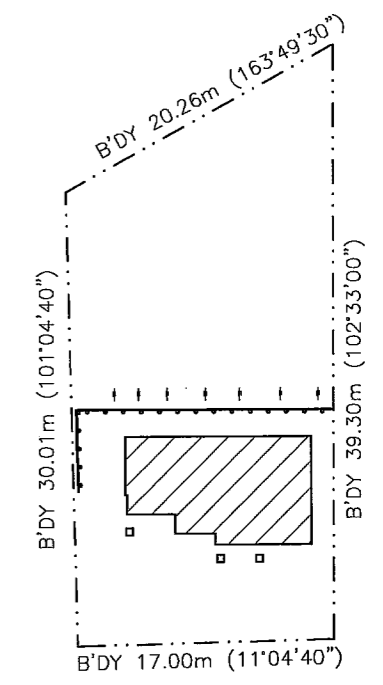
ACTUAL SITE COVERAGE = 13.5% (83m²)

TOTAL FLOOR AREA = 153.0m² (OVER FRAMING)

TOTAL FLOOR AREA = 161m² (OVER BRICKWORK)

NOTES:-

- ALL DIMENSIONS TO BRICKWORK= 120mm
- ALL DIMENSIONS TO FRAMING = 90mm.
- ALL STUD HEIGHT 2.4m FOR BOTH G.F. AND F.F.
- ALL SOFFIT AND GABLE OVERHANG'S NOT DIMENSIONED TO BE 450mm FROM FRAMING.
- MEDIUM WIND ZONE



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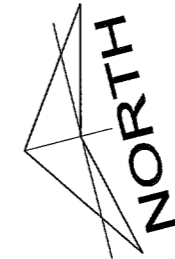
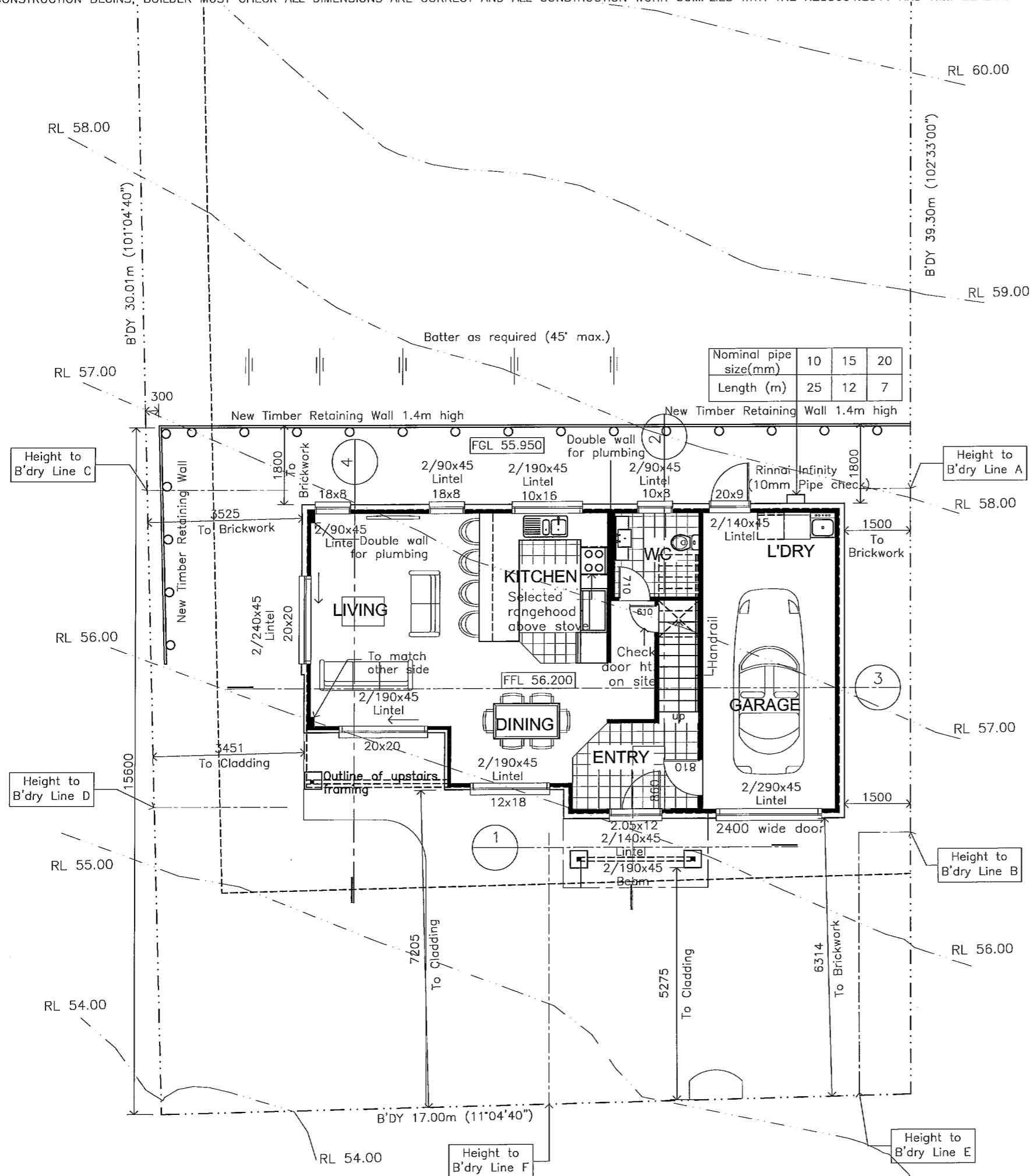
19 NorthRidge Dr, Hamilton
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Ph: (07) 853 2000
Fax: (07) 853 2556

Proposed: Lot 65 - DP 392290,
32 Alpers Ridge,
River Gardens, Cambridge.

Drawing Name:
Site Plan

Amendments:	Date: June 2013	No: 1
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Lot 65 - DP 392290

NOTES:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- CHECK POSITION OF DWELLING WITH OWNER PRIOR TO COMMENCING CONSTRUCTION

AREA'S:

TOTAL SITE AREA = 614m²

PERMISSIBLE SITE COVERAGE=40%

ACTUAL SITE COVERAGE = 13.5% (83m²)

TOTAL FLOOR AREA = 153.0m² (OVER FRAMING)

TOTAL FLOOR AREA = 161m² (OVER BRICKWORK)

NOTES:-

- ALL DIMENSIONS TO BRICKWORK= 120mm
- ALL DIMENSIONS TO FRAMING = 90mm.
- ALL STUD HEIGHT 2.4m FOR BOTH G.F. AND F.F.
- ALL SOFFIT AND GABLE OVERHANG'S NOT DIMENSIONED TO BE 450mm FROM FRAMING.
- MEDIUM WIND ZONE
- R INSULATION VALUES ARE
FLOOR = 1.3
WALLS = 2.2
ROOF = 3.2
GLAZING = 0.26
AS PER ATTACHED H1 COMPLIANCE REPORT.

NOTES:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- CHECK LINTEL SIZES AND POSITION OF GIRDER TRUSSES WITH APPROVED TRUSS MANUFACTURER.
- ALL LINTELS UP TO 1.3m SPAN, TO BE FIXED WITH 3/90x3.15 END NAILS AS PER NZS 3604, TABLE 8.19 (CHECK).
- ALL LINTELS 1.4-3.6m SPAN (EXCLUDING DesignIT LINTELS) TO BE FIXED WITH 25x1mm STRAP WITH 6/30x2.5 NAILS ON ONE SIDE ONLY INTO BOTH LINTEL AND STUD AS PER NZS 3604, TABLE 8.14, FIGURE 8.12 (CHECK).
- TRUSS TO TOP PLATE TO BE FIXED WITH TYPE C - 2/90x3.15 SKEWED NAILS + 2 WIRE DOGS AS PER NZS 3604 TABLE 10.14.

TIMBER TREATMENTS:

- ALL TIMBERS ARE SGB, UNLESS STATED OTHERWISE.
- ALL TIMBERS ARE H1.2 TREATED AS PER TABLE 1A B2/AS1, EXCEPT:
* DRAINAGE CAVITY BATTERNS ARE H3.1.
* ANY EXPOSED OR CANTILEVERED MEMBER'S ARE H3.2.
* ANY POST'S OR PILES IN CONTACT WITH THE GROUND ARE H5.

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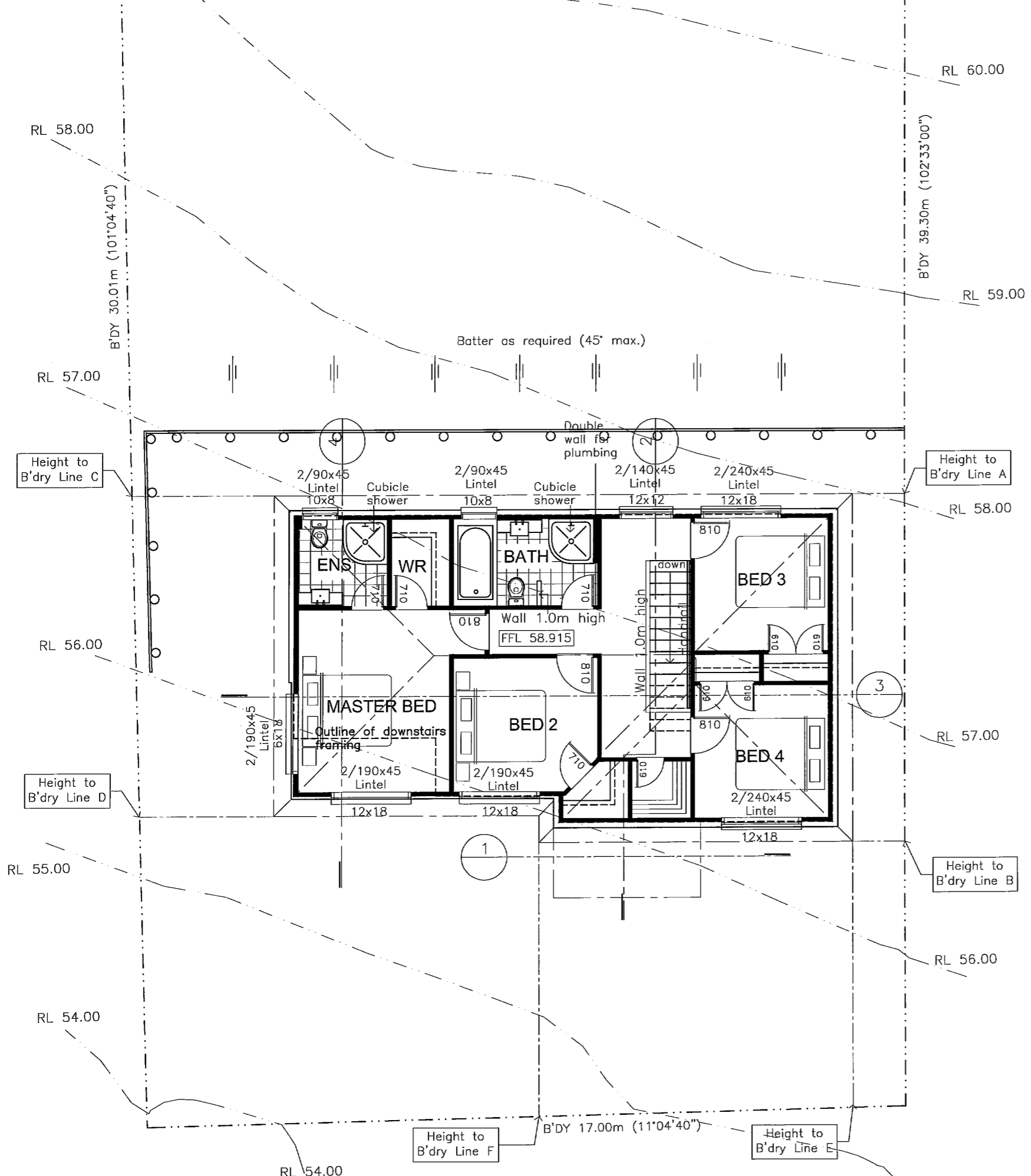
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Drawing Name:
Ground Floor Plan

Amendments:	Date: June 2013	No: 2
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NORTH

Lot 65 - DP 392290

NOTES:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- CHECK POSITION OF DWELLING WITH OWNER PRIOR TO COMMENCING CONSTRUCTION

AREA'S:

TOTAL SITE AREA = 614m²

PERMISSIBLE SITE COVERAGE=40%

ACTUAL SITE COVERAGE = 13.5% (83m²)

TOTAL FLOOR AREA = 153.0m² (OVER FRAMING)

TOTAL FLOOR AREA = 161m² (OVER BRICKWORK)

NOTES:-

- ALL DIMENSIONS TO BRICKWORK= 120mm
- ALL DIMENSIONS TO FRAMING = 90mm.
- ALL STUD HEIGHT 2.4m FOR BOTH G.F. AND F.F.
- ALL SOFFIT AND GABLE OVERHANG'S NOT DIMENSIONED TO BE 450mm FROM FRAMING.
- MEDIUM WIND ZONE
- R INSULATION VALUES ARE
FLOOR = 1.3
WALLS = 2.2
ROOF = 3.2
GLAZING = 0.26
AS PER ATTACHED H1 COMPLIANCE REPORT.

NOTES:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- CHECK LINTEL SIZES AND POSITION OF GIRDER TRUSSES WITH APPROVED TRUSS MANUFACTURER.
- ALL LINTELS UP TO 1.3m SPAN, TO BE FIXED WITH 3/90x3.15 END NAILS AS PER NZS 3604, TABLE 8.19 (CHECK).
- ALL LINTELS 1.4-3.6m SPAN (EXCLUDING DesignIT LINTELS) TO BE FIXED WITH 25x1mm STRAP WITH 6/30x2.5 NAILS ON ONE SIDE ONLY INTO BOTH LINTEL AND STUD AS PER NZS 3604, TABLE 8.14, FIGURE 8.12 (CHECK).
- TRUSS TO TOP PLATE TO BE FIXED WITH TYPE C - 2/90x3.15 SKEWED NAILS + 2 WIRE DOGS AS PER NZS 3604 TABLE 10.14.

TIMBER TREATMENTS:

- ALL TIMBERS ARE SGB, UNLESS STATED OTHERWISE.
- ALL TIMBERS ARE H1.2 TREATED AS PER TABLE 1A B2/AS1, EXCEPT:
* DRAINAGE CAVITY BATTERNS ARE H3.1.
* ANY EXPOSED OR CANTILEVERED MEMBER'S ARE H3.2.
* ANY POST'S OR PILES IN CONTACT WITH THE GROUND ARE H5.

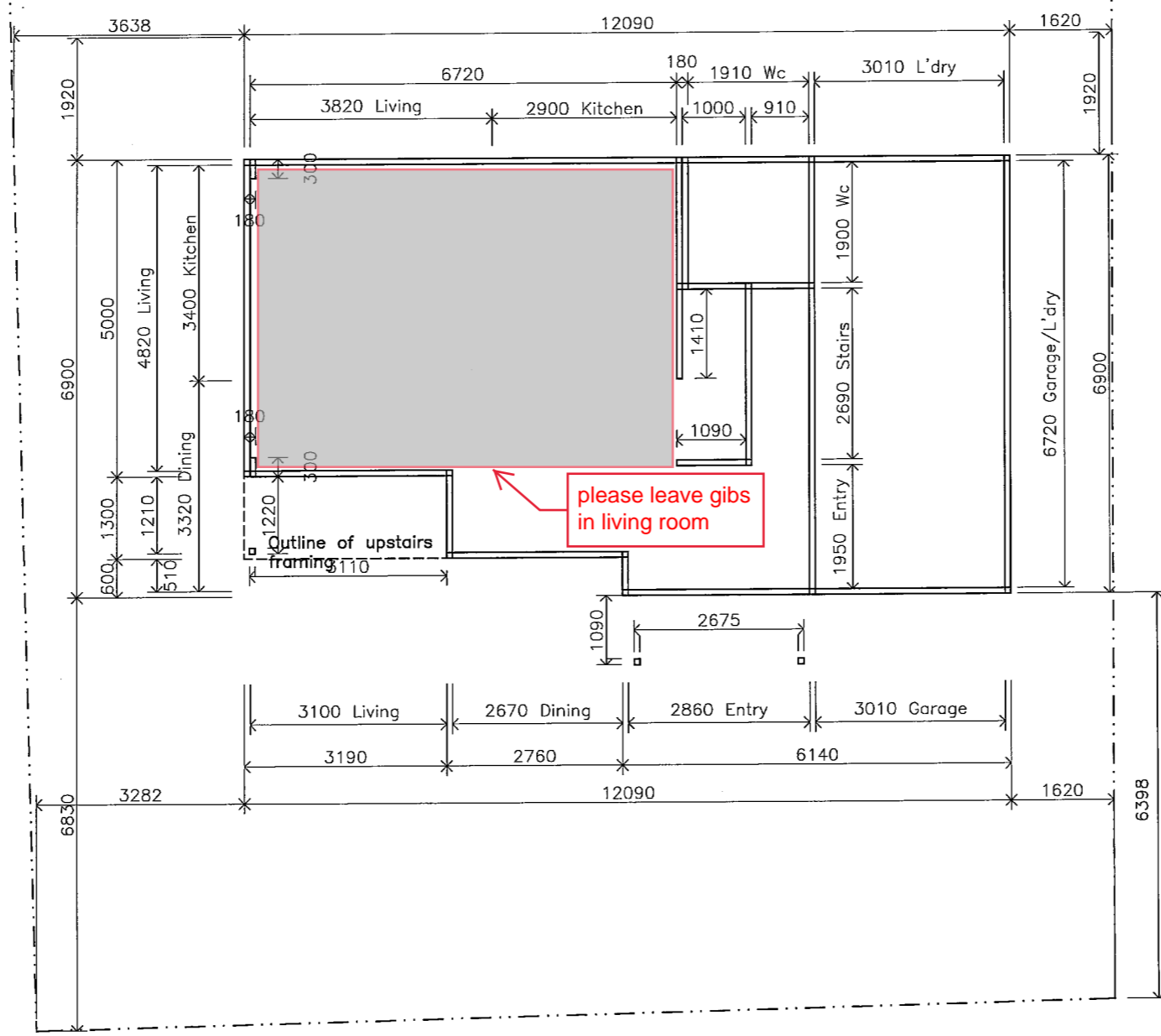
HBC Design Limited

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Drawing Name:
First Floor Plan

Amendments:	Date:	No:
	June 2013	3
	Scale:	© COPYRIGHT
	1:100	



AREA'S:
 G. FLOOR AREA = 76m²
 F. FLOOR AREA = 77m²
 T. FLOOR AREA = 153m²
 (OVER FRAMING)

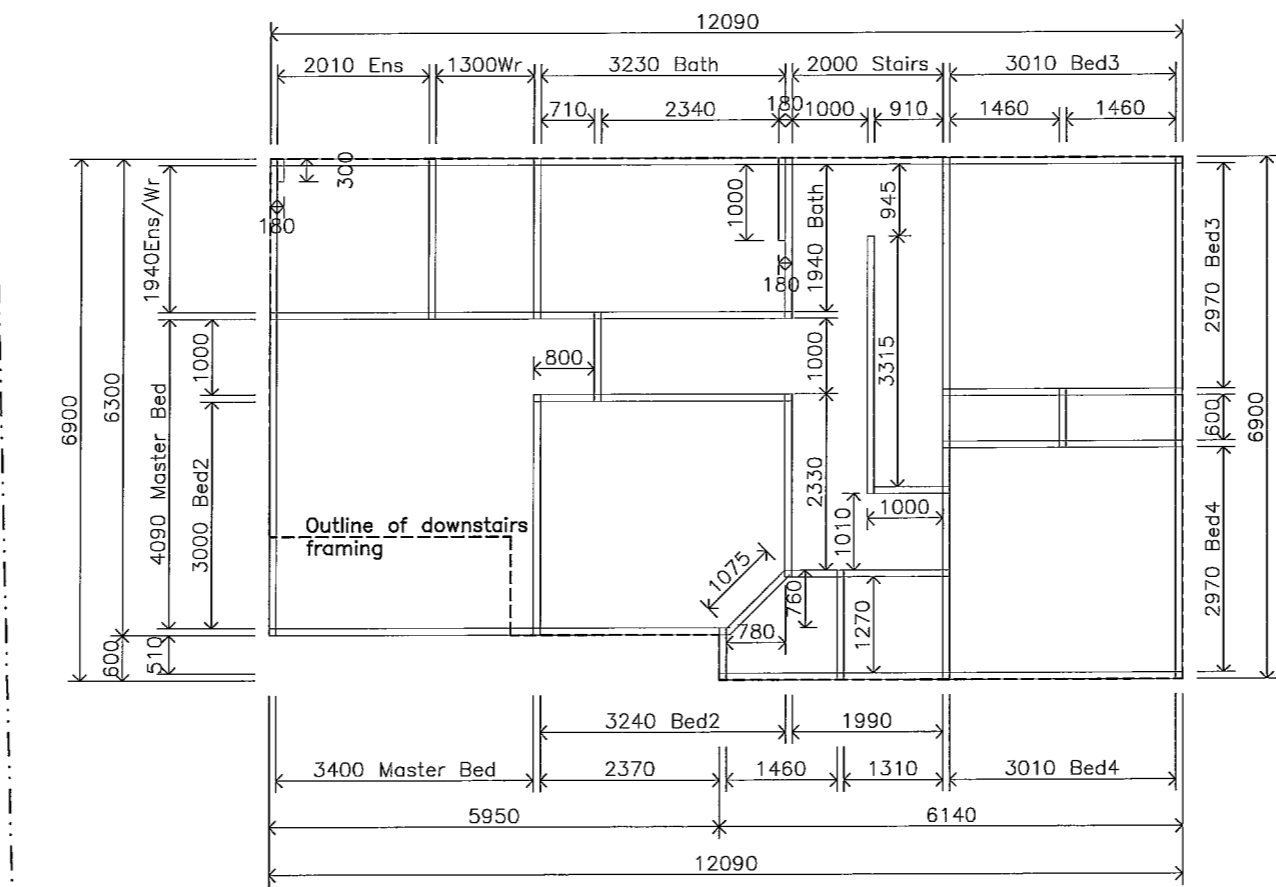
NOTE:
 - ALL DIMENSIONS TO FRAMING = 90mm

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 River Gardens, Cambridge.

Drawing Name:
 Ground Floor Plan
 Dimensioned

Amendments:	Date: June 2013	No: 4
	Scale: 1:100	© COPYRIGHT



AREA'S:
 G. FLOOR AREA = 76m²
 F. FLOOR AREA = 77m²
 T. FLOOR AREA = 153m²
 (OVER FRAMING)

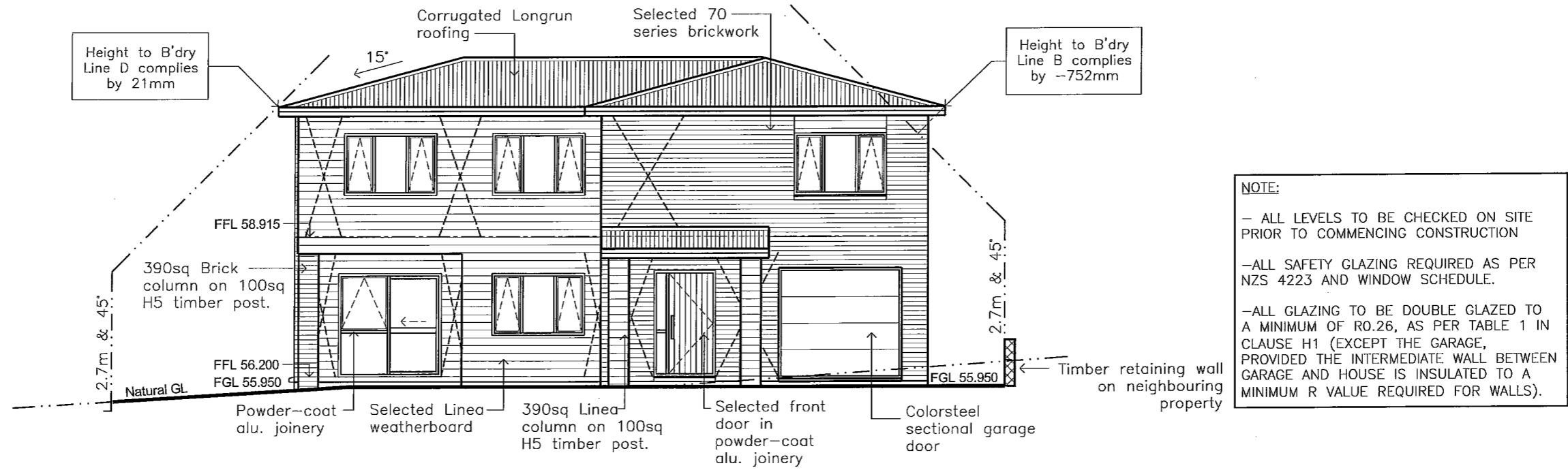
NOTE:
 - ALL DIMENSIONS TO FRAMING = 90mm

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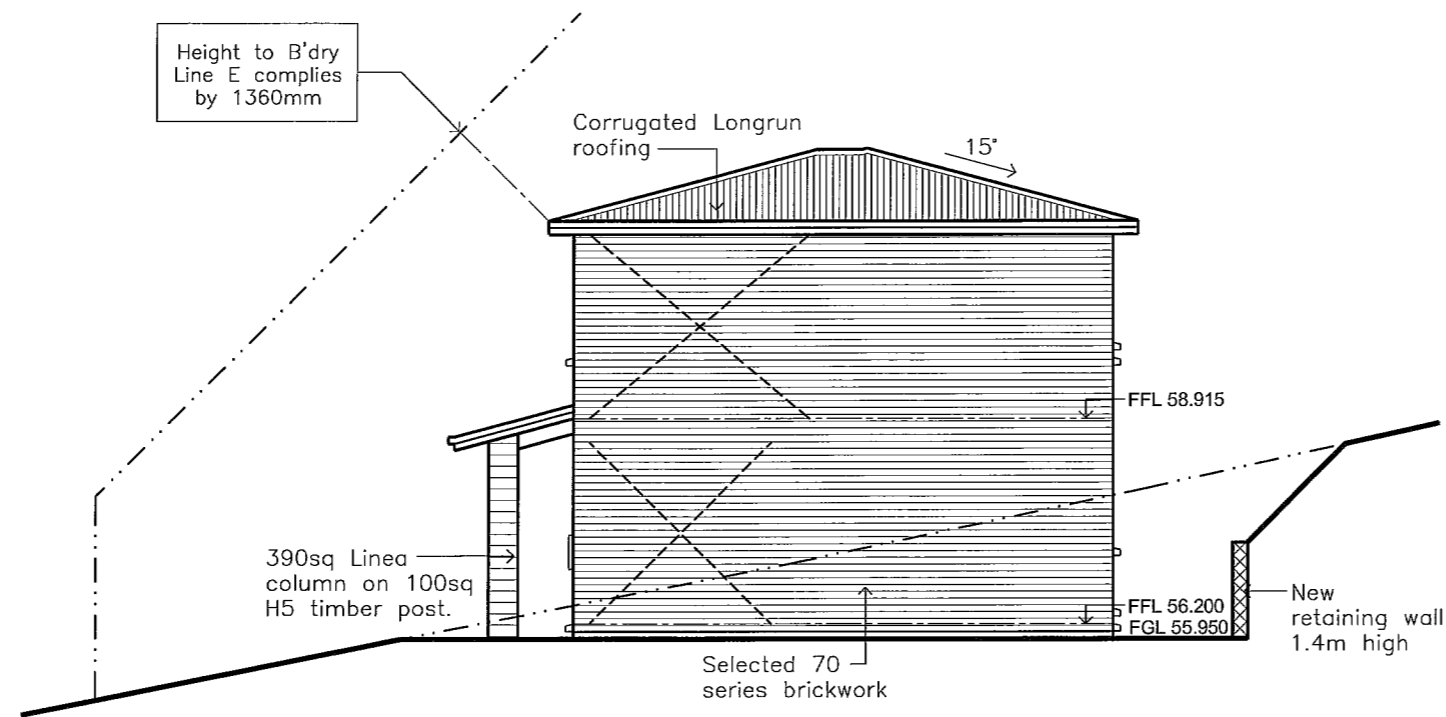
Proposed: Lot 65 – DP 392290,
 32 Alpers Ridge,
 River Gardens, Cambridge.

Drawing Name:
 First Floor Plan
 Dimensioned

Amendments:	Date: June 2013	No: 5
	Scale: 1:100	© COPYRIGHT



WEST ELEVATION



SOUTH ELEVATION

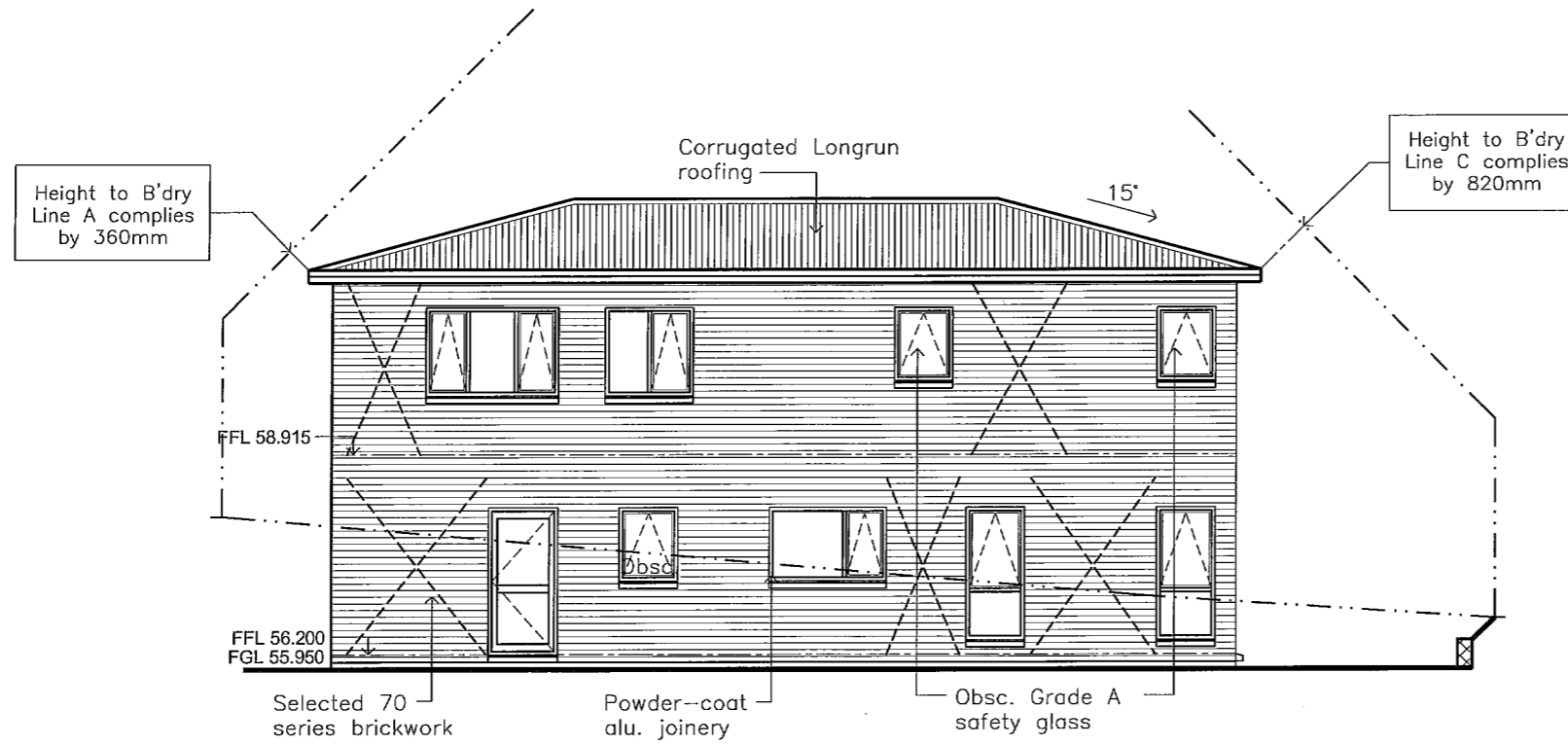
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 Fax: (07) 853 2555

Proposed: Lot 65 - DP 392290,
 32 Alpers Ridge,
 River Gardens, Cambridge.

Drawing Name:
 ELEVATION

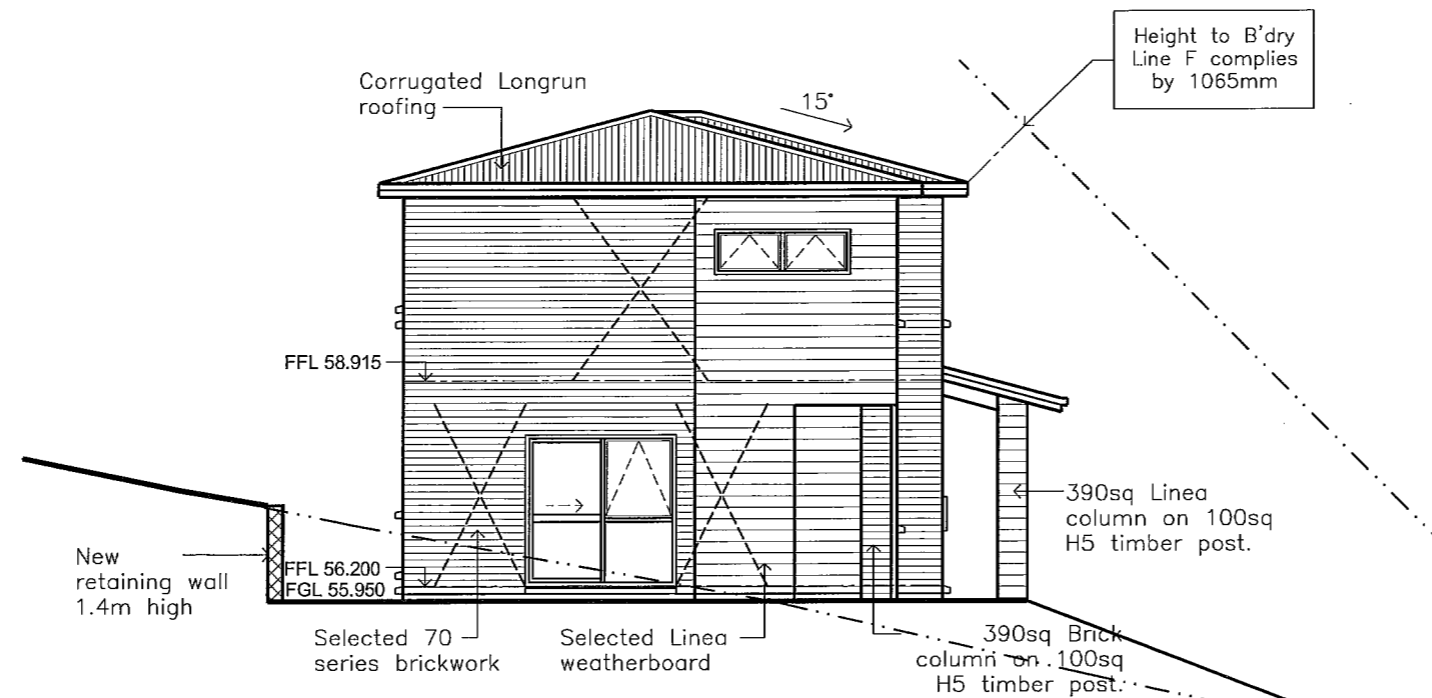
Amendments:	Date: June 2013	No: 6
	Scale: 1:100	© COPYRIGHT



EAST ELEVATION

NOTE:

- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION
- ALL SAFETY GLAZING REQUIRED AS PER NZS 4223 AND WINDOW SCHEDULE.
- ALL GLAZING TO BE DOUBLE GLAZED TO A MINIMUM OF R0.26, AS PER TABLE 1 IN CLAUSE H1 (EXCEPT THE GARAGE, PROVIDED THE INTERMEDIATE WALL BETWEEN GARAGE AND HOUSE IS INSULATED TO A MINIMUM R VALUE REQUIRED FOR WALLS).



NORTH ELEVATION

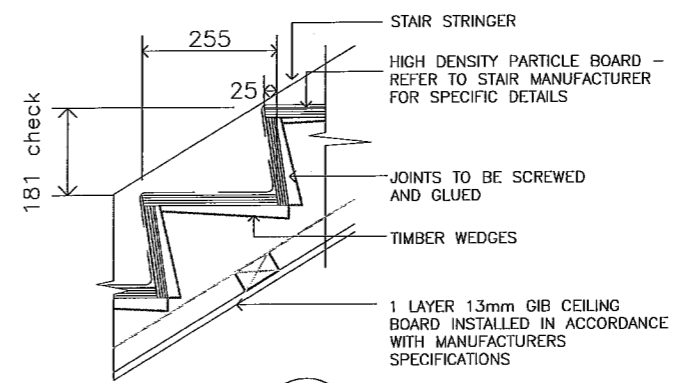
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 19 NorthRidge Dr, Hamilton
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 River Gardens, Cambridge.

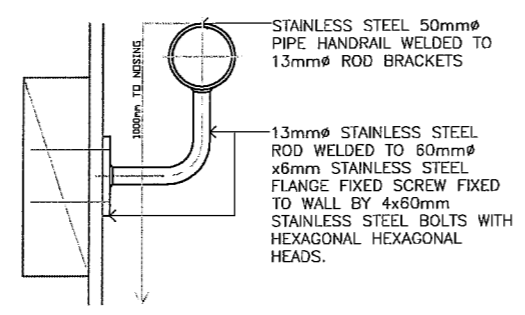
Drawing Name:
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Amendments:	Date: June 2013	No: 7
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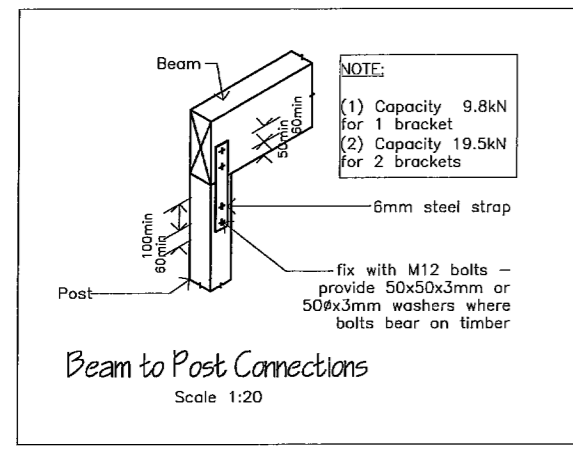
- 0.4mm BMT CORRUGATED COLORSTEEL ROOFING ON THERMOKRAFT 215 HEAVY WEIGHT SELF SUPPORTING BREATHER TYPE BUILDING UNDERLAY (OR SIMILAR) AS PER NZS 2295:2006 OVER ON 75x50 PURLINS @ 900mm CRS (SGB). FIX TO TRUSSES WITH 2/90x3.15 POWER DRIVEN @ MAIN ROOF AREA, 2/100x3.75 SKEWED NAILS & 1 WIREDOG @ PERIPHERY AREA'S (0.2xWIDTH). SEE TABLE 10.9 & 10.10, FIGURE 10.17 IN NZS 3604.
 - H1.2 TIMBER TRUSSES @ 900mm CRS AND OTHER ROOF FRAMING SGB AS PER NZS 3603:1993. TRUSSES, FIXINGS TO TOP PLATE, GIRDER TRUSS LINTEL SIZES AND ROOF LAYOUT AS PER APPROVED TRUSS MANUFACTURER'S DESIGN.
 - H1.2 LINTELS (SGB) TO BE CHECKED BY PRECUT SPECIALIST TO COMPLY WITH NZS 3604:2011. PLEASE REFER TO ROOF LAYOUT AS PER APPROVED MANUFACTURER'S DESIGN.
 - PRE-FINISHED COLORSTEEL 1/2 ROUND GUTTER (OR SIMILAR) SYSTEM COMPLETE WITH BRACKETS @ 900mm CRS ON METAL FASCIA AND BARGE BOARD AS PER NZS 3617:1979.
 - 80# COLORSTEEL (OR SIMILAR) DOWNPIPES COMPLETE WITH BRACKETS AS PER MANUFACTURER'S MANUAL.
 - 4.5mm HARDIFLEX SOFFIT AS PER JAMES HARDIE EAVES LINING MANUAL IN PVC JOINTERS AND PAINT FINISH ON 75x40mm SPROCKETS AND SOFFIT RUNNER.
 - 75X 40mm (SGB) CEILING BATTENS @ 400mm CRS AS PER NZS 3604:2011; FIX WITH 2/ 75X 3.06mm POWER DRIVEN NAILS, WITH 140X 35mm ADDITIONAL TOP PLATE OVER WALLS.
 - 135mm BATT INSULATION TO A MIN. OF R3.2 TO CEILING SPACE AS PER H1 COMPLIANCE REPORT.
- WALLS**
- ALL FRAMING TO BE SGB 90x45mm H1.2 TREATED @ 400mm CRS MAX AT BOTH LEVELS AS PER NZS 3603:1993 AND NZS 3604:2011, UNLESS STATED OTHERWISE.
 - 90mm BATT INSULATION TO A MIN. OF R2.2 TO EXTERIOR WALLS AS PER H1 COMPLIANCE REPORT. GARAGE IS NOT REQUIRED PROVIDED THE INTERMEDIATE WALL BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. H1 REQUIREMENTS, UNLESS REQUESTED BY OWNER.
- LININGS AND FINISHES**
- CEILINGS ARE 13mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND 3 COAT PAINT FINISH.
 - WALLS ARE 10mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - WALLS IN WET AREA'S ARE 10mm AQUALINE GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - SELECTED GIB PLASTERBOARD SCOTIA OR SQUARE STOPPED(CHECK WITH OWNER).
 - SELECTED TIMBER SKIRTING AS PER OWNERS REQUIREMENTS.
 - SELECTED TIMBER ARCHITRAVES TO WINDOWS AND INTERNAL DOORS AS/OR PER OWNERS REQUIREMENTS.
- MID-FLOOR**
- HOUSE JOISTS ARE H1.2 240X45 JOIST @ 400MM CRS., BLOCKING AT SUPPORTS. FIX AS PER MANUFACTURER'S INSTRUCTIONS (UNLESS STATED OTHERWISE)
 - 20mm HD SHEET FLOORING (OR SIMILAR), EXCEPT BATHROOM AND TOILET AREA. ALLOW H3.2 TREATED PLYWOOD SHEET FLOORING TO BATHROOM AND TOILET.
- WALL CLADDING**
- SELECTED 70 SERIES BRICKWORK ON 50mm CAVITY ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TIMBER FRAMING.
 - 180mm WIDE, 16mm THICK PRE-PRIMED BEVELED-BACK LINEA WEATHERBOARDS ON 20mm CAVITY AS PER NZS 3617:1979 ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TREATED TIMBER FRAMING.
- JOINERY**
- ALL JOINERY TO BE RESIDENTIAL GRADE POWDER COATED ALUMINIUM JOINERY AND HEAD FLASHINGS WITH APPROVED SEALANT AS PER NZS 4211:1985 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
 - ALL GLAZING TO ACHIEVE A MIN. OF R0.26 (DOUBLE), AS PER H1 COMPLIANCE REPORT, EXCEPT IN GARAGE PROVIDED THE INTERMEDIATE WALL/CEILING BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. CLAUSE H1 REQUIREMENTS
 - SAFETY GLAZING TO ALL BATHROOMS AS PER NZS4223 PART 3 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
- CONCRETE**
- CONCRETE FOOTING (20Mpa) AS PER FOOTING DETAIL. DIGOUT AND COMPACT SAND AS PER ENGINEER'S SOIL REPORT.
 - FLOOR TO BE 100mm CONCRETE FLOOR (17.5Mpa) TO A MIN.OF R1.3, 500E DUCTILE MESH (OR GRADE 300E - D12 @ 450MM CRS EACH WAY - CONFORMING WITH AS/NZS4671 35mm COVER) ON APPROVED 0.25mm POLYTHENE DPM, ON MIN. 100 mm COMPACTED SAND BACKFILL.
 - CHECK ALL GROUND LEVELS AND MIN. FLOOR HEIGHT ON SITE PRIOR TO COMMENCING CONSTRUCTION.



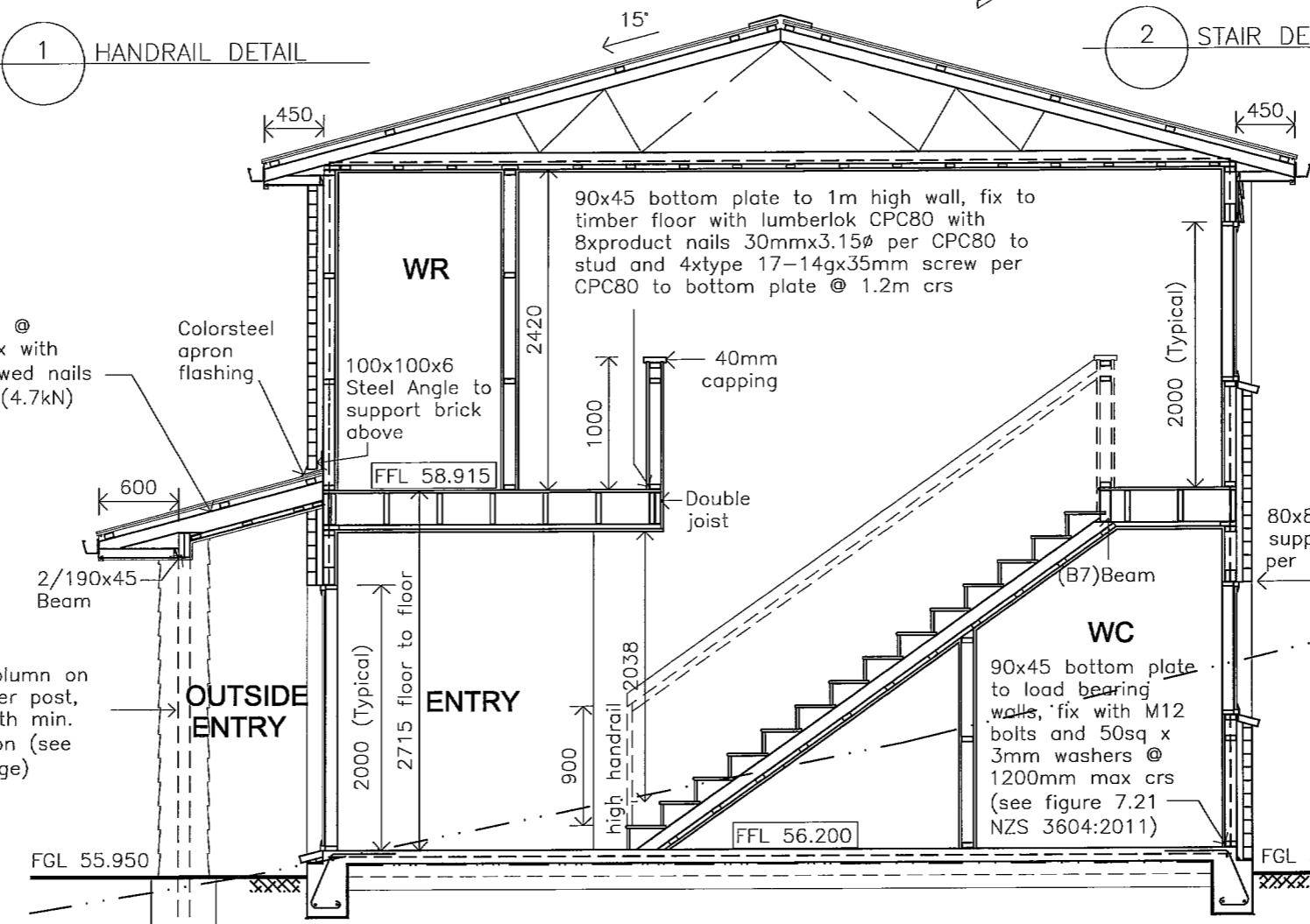
2 STAIR DETAIL



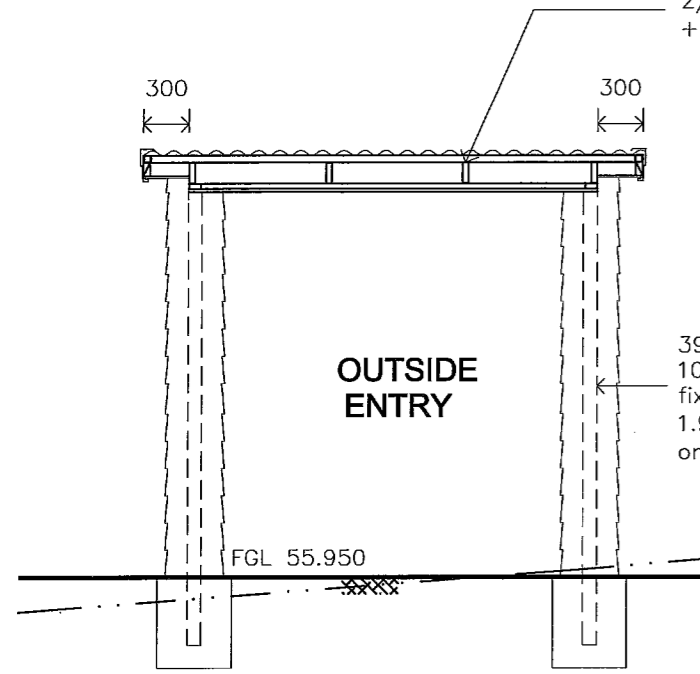
1 HANDRAIL DETAIL



Beam to Post Connections
Scale 1:20



CROSS SECTION 2-2



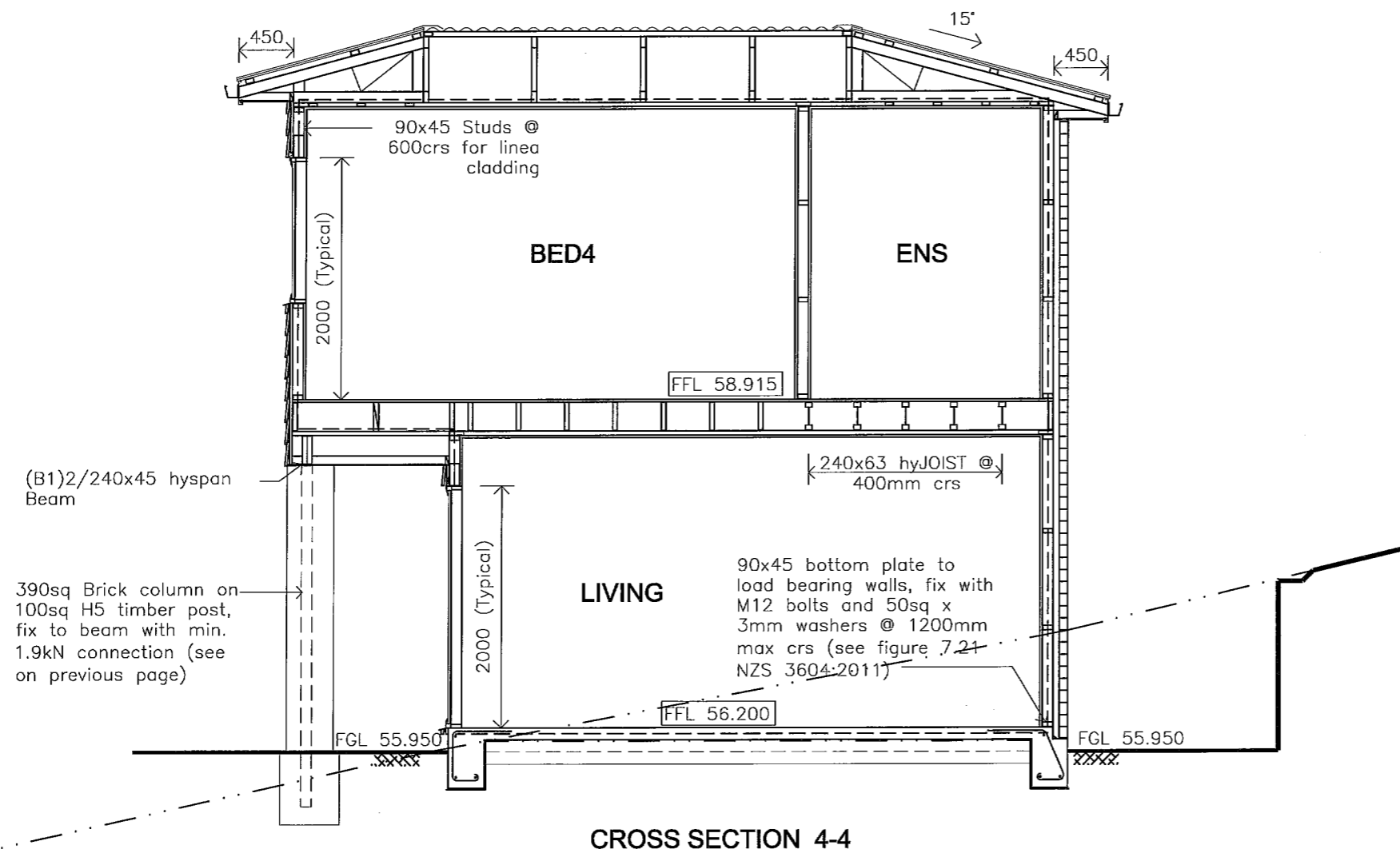
CROSS SECTION 1-1

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Drawing Name:
 CROSS SECTIONS

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- ROOF**
- 0.4mm BMT CORRUGATED COLORSTEEL ROOFING ON THERMOKRAFT 215 HEAVY WEIGHT SELF SUPPORTING BREATHER TYPE BUILDING UNDERLAY (OR SIMILAR) AS PER NZS 2295:2006 OVER ON 75x50 PURLINS @ 900mm CRS (SGB), FIX TO TRUSSES WITH 2/90x3.15 POWER DRIVEN @ MAIN ROOF AREA, 2/100x3.75 SKEWED NAILS & 1 WIREDOG @ PERIPHERY AREA'S (0.2xWIDTH). SEE TABLE 10.9 & 10.10, FIGURE 10.17 IN NZS 3604.
 - H1.2 TIMBER TRUSSES @ 900mm CRS AND OTHER ROOF FRAMING SGB AS PER NZS 3603:1993. TRUSSES, FIXINGS TO TOP PLATE, GIRDER TRUSS LINTEL SIZES AND ROOF LAYOUT AS PER APPROVED TRUSS MANUFACTURER'S DESIGN.
 - H1.2 LINTELS (SGB) TO BE CHECKED BY PRECUT SPECIALIST TO COMPLY WITH NZS 3604:2011. PLEASE REFER TO ROOF LAYOUT AS PER APPROVED MANUFACTURER'S DESIGN.
 - PRE-FINISHED COLORSTEEL 1/2 ROUND GUTTER (OR SIMILAR) SYSTEM COMPLETE WITH BRACKETS @ 900mm CRS ON METAL FASCIA AND BARGE BOARD AS PER NZS 3617:1979.
 - 80# COLORSTEEL (OR SIMILAR) DOWNPIPES COMPLETE WITH BRACKETS AS PER MANUFACTURER'S MANUAL.
 - 4.5mm HARDIFLEX SOFFIT AS PER JAMES HARDIE EAVES LINING MANUAL IN PVC JOINTERS AND PAINT FINISH ON 75x40mm SPROCKETS AND SOFFIT RUNNER.
 - 75X 40mm (SGB) CEILING BATTENS @ 400mm CRS AS PER NZS 3604:2011; FIX WITH 2/ 75X 3.06mm POWER DRIVEN NAILS, WITH 140X 35mm ADDITIONAL TOP PLATE OVER WALLS.
 - 135mm BATT INSULATION TO A MIN. OF R3.2 TO CEILING SPACE AS PER H1 COMPLIANCE REPORT.
- WALLS**
- ALL FRAMING TO BE SGB 90x45mm H1.2 TREATED @ 400mm CRS MAX AT BOTH LEVELS AS PER NZS 3603:1993 AND NZS 3604:2011, UNLESS STATED OTHERWISE.
 - 90mm BATT INSULATION TO A MIN. OF R2.2 TO EXTERIOR WALLS AS PER H1 COMPLIANCE REPORT. GARAGE IS NOT REQUIRED PROVIDED THE INTERMEDIATE WALL BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. H1 REQUIREMENTS, UNLESS REQUESTED BY OWNER.
- LININGS AND FINISHES**
- CEILINGS ARE 13mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND 3 COAT PAINT FINISH.
 - WALLS ARE 10mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - WALLS IN WET AREA'S ARE 10mm AQUALINE GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - SELECTED GIB PLASTERBOARD SCOTIA OR SQUARE STOPPED(CHECK WITH OWNER).
 - SELECTED TIMBER SKIRTING AS PER OWNERS REQUIREMENTS.
 - SELECTED TIMBER ARCHITRAVES TO WINDOWS AND INTERNAL DOORS AS/OR PER OWNERS REQUIREMENTS.
- MID-FLOOR**
- HOUSE JOISTS ARE H1.2 240x45 JOIST @ 400MM CRS., BLOCKING AT SUPPORTS. FIX AS PER MANUFACTURER'S INSTRUCTIONS (UNLESS STATED OTHERWISE)
 - 20mm HD SHEET FLOORING (OR SIMILAR), EXCEPT BATHROOM AND TOILET AREA. ALLOW H3.2 TREATED PLYWOOD SHEET FLOORING TO BATHROOM AND TOILET.
- WALL CLADDING**
- SELECTED 70 SERIES BRICKWORK ON 50mm CAVITY ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TIMBER FRAMING.
 - 180mm WIDE, 16mm THICK PRE-PRIMED BEVELED-BACK LINEA WEATHERBOARDS ON 20mm CAVITY AS PER NZS 3617:1979 ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TREATED TIMBER FRAMING.
- JOINERY**
- ALL JOINERY TO BE RESIDENTIAL GRADE POWDER COATED ALUMINIUM JOINERY AND HEAD FLASHINGS WITH APPROVED SEALANT AS PER NZS 4211:1985 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
 - ALL GLAZING TO ACHIEVE A MIN. OF R0.26 (DOUBLE), AS PER H1 COMPLIANCE REPORT, EXCEPT IN GARAGE PROVIDED THE INTERMEDIATE WALL/CEILING BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. CLAUSE H1 REQUIREMENTS
 - SAFETY GLAZING TO ALL BATHROOMS AS PER NZS4223 PART 3 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
- CONCRETE**
- CONCRETE FOOTING (20Mpa) AS PER FOOTING DETAIL DIGOUT AND COMPACT SAND AS PER ENGINEER'S SOIL REPORT.
 - FLOOR TO BE 100mm CONCRETE FLOOR (17.5Mpa) TO A MIN.OF R1.3, 500E DUCTILE MESH (OR GRADE 300E - D12 @ 450MM CRS EACH WAY - CONFORMING WITH AS/NZS4671 35mm COVER) ON APPROVED 0.25mm POLYTHENE DPM, ON MIN. 100 mm COMPACTED SAND BACKFILL.
 - CHECK ALL GROUND LEVELS AND MIN. FLOOR HEIGHT ON SITE PRIOR TO COMMENCING CONSTRUCTION.

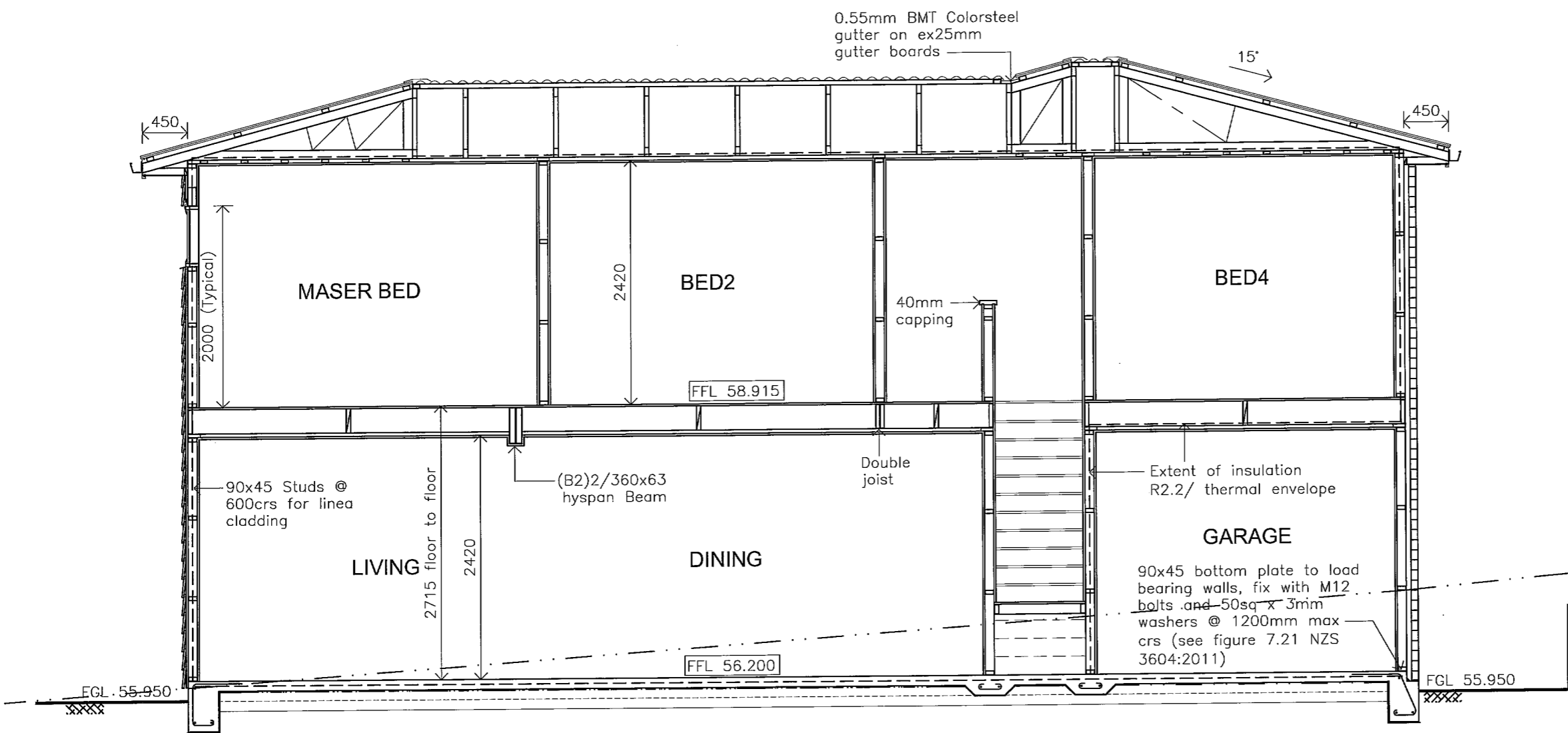
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Proposed: Lot 65 - DP 392290,
 32 Alpers Ridge,
 River Gardens, Cambridge.

Drawing Name:
 CROSS SECTIONS

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	1:50	

PRE CONSTRUCTION BEGINS, BUILDER MUST CHECK ALL DIMENSIONS ARE CORRECT AND ALL CONSTRUCTION WORK COMPLIES WITH THE NZS 3604:2011 AND NEW ZEALAND BUILDING CODE, LOCAL BODY BYLAWS AND RELEVANT NEW ZEALAND STANDARDS.



CROSS SECTION 3-3

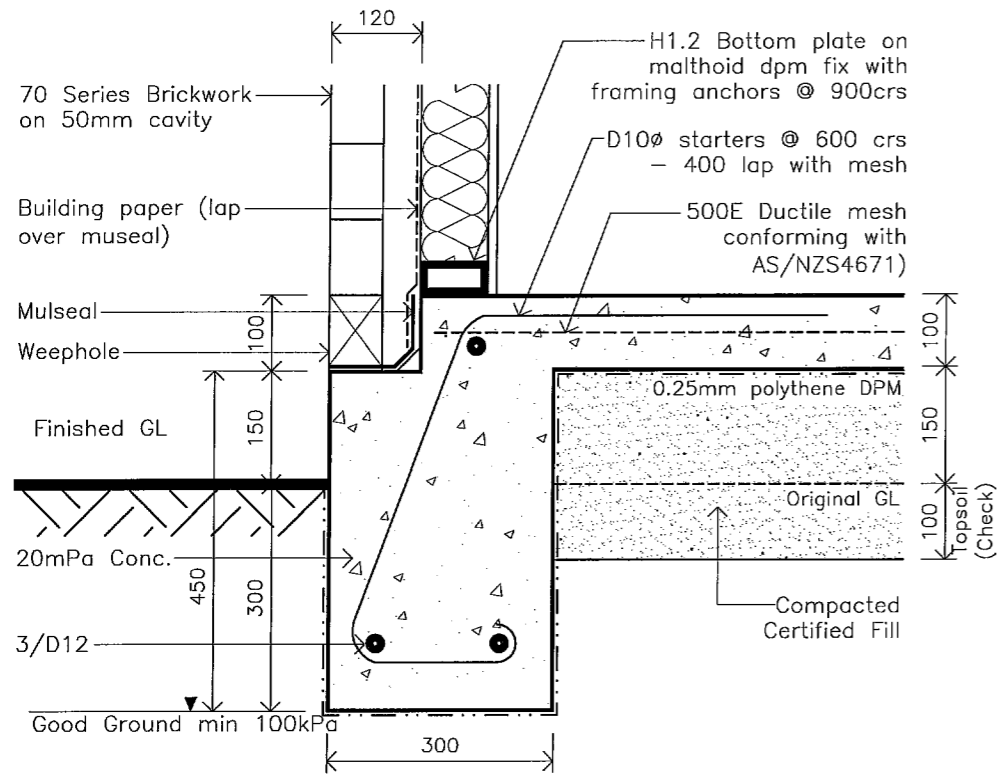
- ROOF**
- 0.4mm BMT CORRUGATED COLORSTEEL ROOFING ON THERMOKRAFT 215 HEAVY WEIGHT SELF SUPPORTING BREATHER TYPE BUILDING UNDERLAY (OR SIMILAR) AS PER NZS 2295:2006 OVER ON 75x50 PURLINS @ 900mm CRS (SG8), FIX TO TRUSSES WITH 2/90x3.15 POWER DRIVEN @ MAIN ROOF AREA, 2/100x3.75 SKEWED NAILS & 1 WIREDOG @ PERIPHERY AREA'S (0.2xWIDTH). SEE TABLE 10.9 & 10.10, FIGURE 10.17 IN NZS 3604.
 - H1.2 TIMBER TRUSSES @ 900mm CRS AND OTHER ROOF FRAMING SGB AS PER NZS 3603:1993. TRUSSES, FIXINGS TO TOP PLATE, GIRDER TRUSS LINTEL SIZES AND ROOF LAYOUT AS PER APPROVED TRUSS MANUFACTURER'S DESIGN.
 - H1.2 LINTELS (SGB) TO BE CHECKED BY PRECUT SPECIALIST TO COMPLY WITH NZS 3604:2011. PLEASE REFER TO ROOF LAYOUT AS PER APPROVED MANUFACTURER'S DESIGN.
 - PRE-FINISHED COLORSTEEL 1/2 ROUND GUTTER (OR SIMILAR) SYSTEM COMPLETE WITH BRACKETS @ 900mm CRS ON METAL FASCIA AND BARGE BOARD AS PER NZS 3617:1979.
 - 80# COLORSTEEL (OR SIMILAR) DOWNPIPES COMPLETE WITH BRACKETS AS PER MANUFACTURER'S MANUAL.
 - 4.5mm HARDIFLEX SOFFIT AS PER JAMES HARDIE EAVES LINING MANUAL IN PVC JOINTERS AND PAINT FINISH ON 75x40mm SPROCKETS AND SOFFIT RUNNER.
 - 75X 40mm (SG8) CEILING BATTENS @ 400mm CRS AS PER NZS 3604:2011; FIX WITH 2/ 75X 3.06mm POWER DRIVEN NAILS, WITH 140X 35mm ADDITIONAL TOP PLATE OVER WALLS.
 - 135mm BATT INSULATION TO A MIN. OF R3.2 TO CEILING SPACE AS PER H1 COMPLIANCE REPORT.
- WALLS**
- ALL FRAMING TO BE SGB 90x45mm H1.2 TREATED @ 400mm CRS MAX AT BOTH LEVELS AS PER NZS 3603:1993 AND NZS 3604:2011, UNLESS STATED OTHERWISE.
 - 90mm BATT INSULATION TO A MIN. OF R2.2 TO EXTERIOR WALLS AS PER H1 COMPLIANCE REPORT. GARAGE IS NOT REQUIRED PROVIDED THE INTERMEDIATE WALL BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. H1 REQUIREMENTS, UNLESS REQUESTED BY OWNER.
- LININGS AND FINISHES**
- CEILINGS ARE 13mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND 3 COAT PAINT FINISH.
 - WALLS ARE 10mm STANDARD GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - WALLS IN WET AREA'S ARE 10mm AQUALINE GIB PLASTERBOARD, LEVEL 4 STOPPED AND FINISH AS PER OWNERS REQUIREMENTS.
 - SELECTED GIB PLASTERBOARD SCOTIA OR SQUARE STOPPED(CHECK WITH OWNER).
 - SELECTED TIMBER SKIRTING AS PER OWNERS REQUIREMENTS.
 - SELECTED TIMBER ARCHITRAVES TO WINDOWS AND INTERNAL DOORS AS/OR PER OWNERS REQUIREMENTS.
- MID-FLOOR**
- HOUSE JOISTS ARE H1.2 240X45 JOIST @ 400MM CRS., BLOCKING AT SUPPORTS. FIX AS PER MANUFACTURER'S INSTRUCTIONS (UNLESS STATED OTHERWISE)
 - 20mm HD SHEET FLOORING (OR SIMILAR), EXCEPT BATHROOM AND TOILET AREA. ALLOW H3.2 TREATED PLYWOOD SHEET FLOORING TO BATHROOM AND TOILET.
- WALL CLADDING**
- SELECTED 70 SERIES BRICKWORK ON 50mm CAVITY ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TIMBER FRAMING.
 - 180mm WIDE, 16mm THICK PRE-PRIMED BEVELED-BACK LINEA WEATHERBOARDS ON 20mm CAVITY AS PER NZS 3617:1979 ON BRANZ APPROVED TYVEK WEATHERIZATION SYSTEM (OR SIMILAR) AS PER NZS 2295:2006 ON KILN DRIED TREATED TIMBER FRAMING.
- JOINERY**
- ALL JOINERY TO BE RESIDENTIAL GRADE POWDER COATED ALUMINIUM JOINERY AND HEAD FLASHINGS WITH APPROVED SEALANT AS PER NZS 4211:1985 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
 - ALL GLAZING TO ACHIEVE A MIN. OF R0.26 (DOUBLE), AS PER H1 COMPLIANCE REPORT, EXCEPT IN GARAGE PROVIDED THE INTERMEDIATE WALL/CEILING BETWEEN GARAGE AND HOUSE IS INSULATED TO THE MIN. CLAUSE H1 REQUIREMENTS
 - SAFETY GLAZING TO ALL BATHROOMS AS PER NZS4223 PART 3 AND AS PER MANUFACTURER'S DOOR AND WINDOW SCHEDULE.
- CONCRETE**
- CONCRETE FOOTING (20Mpa) AS PER FOOTING DETAIL DIGOUT AND COMPACT SAND AS PER ENGINEER'S SOIL REPORT.
 - FLOOR TO BE 100mm CONCRETE FLOOR (17.5Mpa) TO A MIN.OF R1.3, 500E DUCTILE MESH (OR GRADE 300E - D12 @ 450MM CRS EACH WAY - CONFORMING WITH AS/NZS4671 35mm COVER) ON APPROVED 0.25mm POLYTHENE DPM, ON MIN. 100 mm COMPACTED SAND BACKFILL.
 - CHECK ALL GROUND LEVELS AND MIN. FLOOR HEIGHT ON SITE PRIOR TO COMMENCING CONSTRUCTION.

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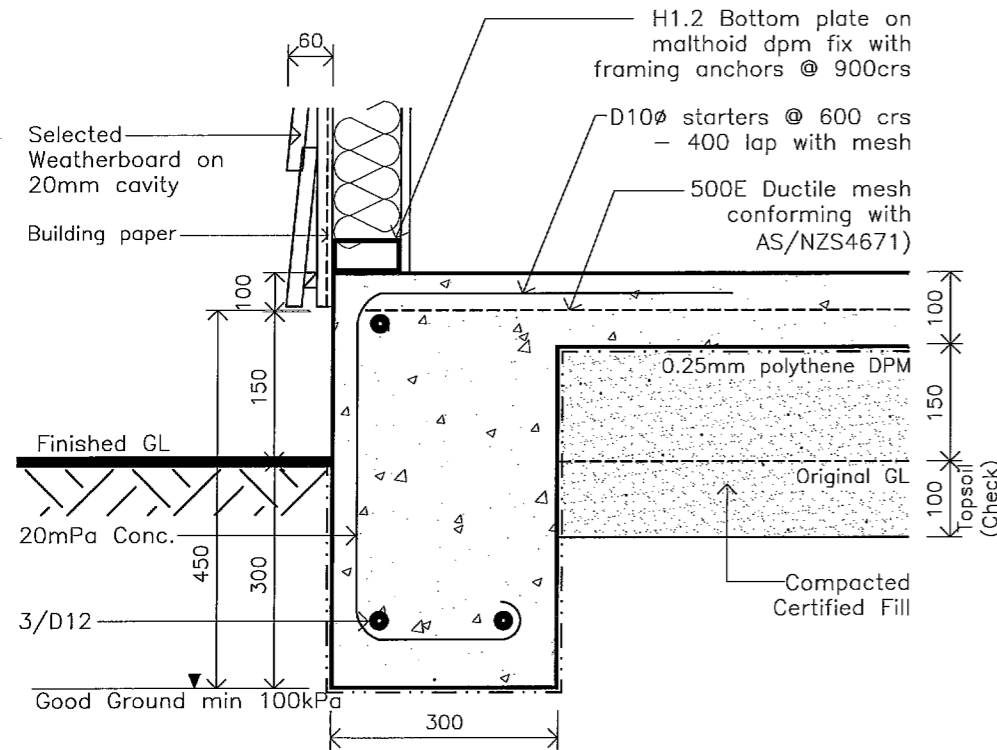
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Drawing Name:
 CROSS SECTIONS

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① FOUNDATION DETAIL
POURED CONCRETE

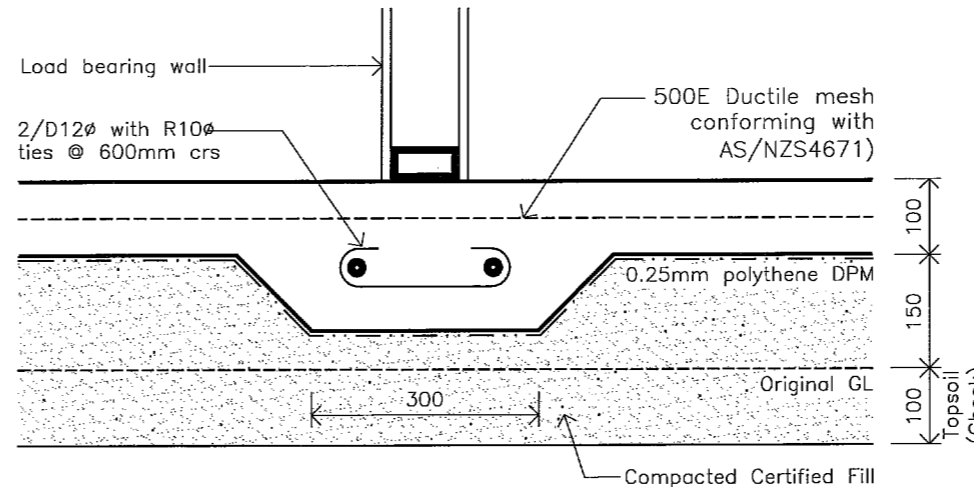
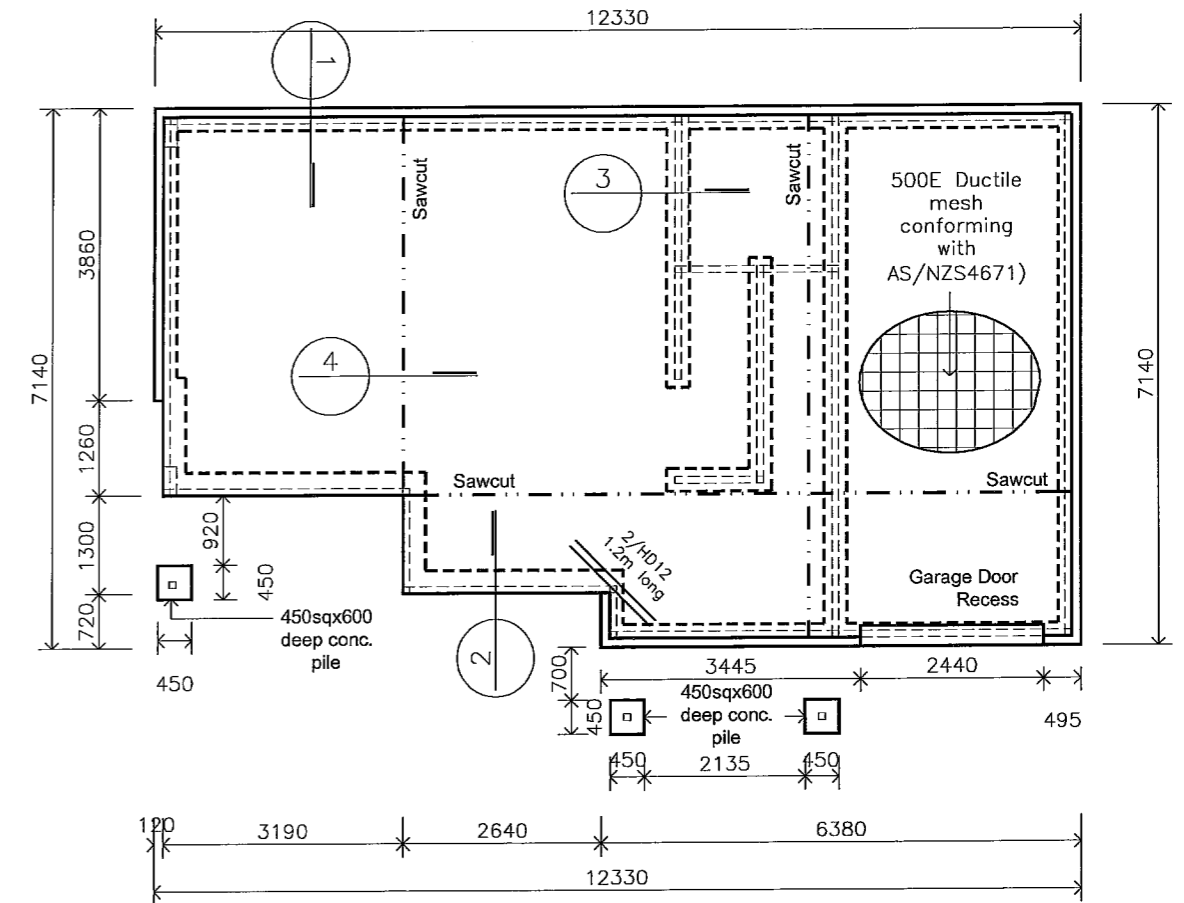


② FOUNDATION DETAIL
POURED CONCRETE

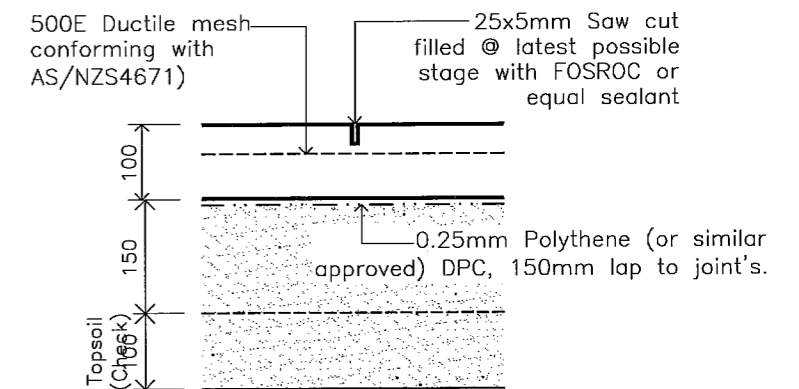
INTERNAL SLAB THICKENING
REQUIRED AS PER APPROVED
TRUSS MANUFACTURERS DESIGN

NOTE:
- ALL LEVELS TO BE CHECKED
ON SITE PRIOR TO COMMENCING
CONSTRUCTION

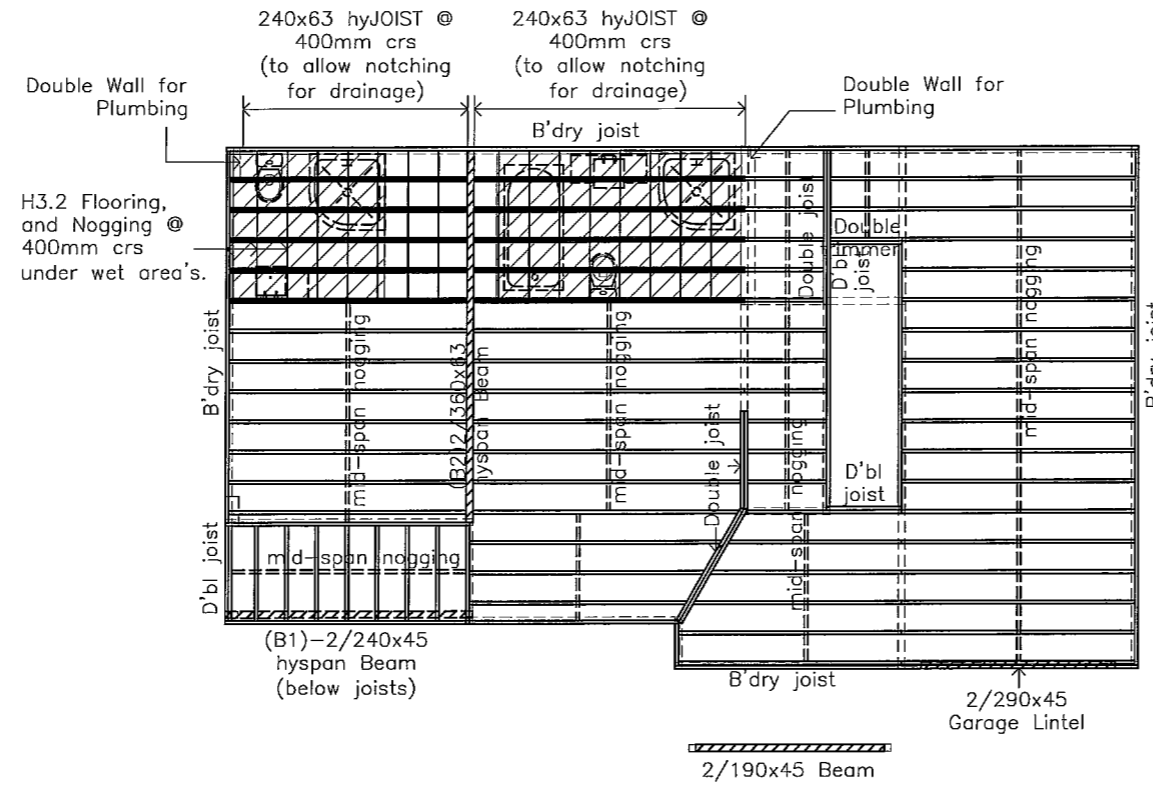
Minimum cover for Reinforcing:
- Against ground 75mm
- Against formwork 50mm
- Top cover to mesh 30mm



③ SECTION THRU FOOTING AT LOAD
BEARING WALL (STRIP FOOTING)



④ SAWCUT DETAIL



NOTE'S:

- ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEER'S CALCULATIONS AND DRAWINGS
- ALL TIMBER IS SGB (UNLESS STATED OTHERWISE).
- HOUSE JOISTS ARE H1.2 240x45 SGB JOIST @ 400mm CRS.

TIMBER TREATMENTS:

- ALL TIMBERS ARE SGB, UNLESS STATED OTHERWISE.
- ALL TIMBERS ARE H1.2 TREATED AS PER TABLE 1A B2/AS1, EXCEPT:
 - * DRAINAGE CAVITY BATTERNS ARE H3.1.
 - * ANY EXPOSED OR CANTILEVERED MEMBER'S ARE H3.2.
 - * ANY POST'S OR PILES IN CONTACT WITH THE GROUND ARE H5.

NOTE:

Allow wiring and plumbing for:

- Dishwasher
- Oven\Hob
- Microwave
- Rangehood
- Wastemaster
- Door Chime
- 2 x Expelair
- Door Opener

Check electrical layout with owner prior to commencing work.

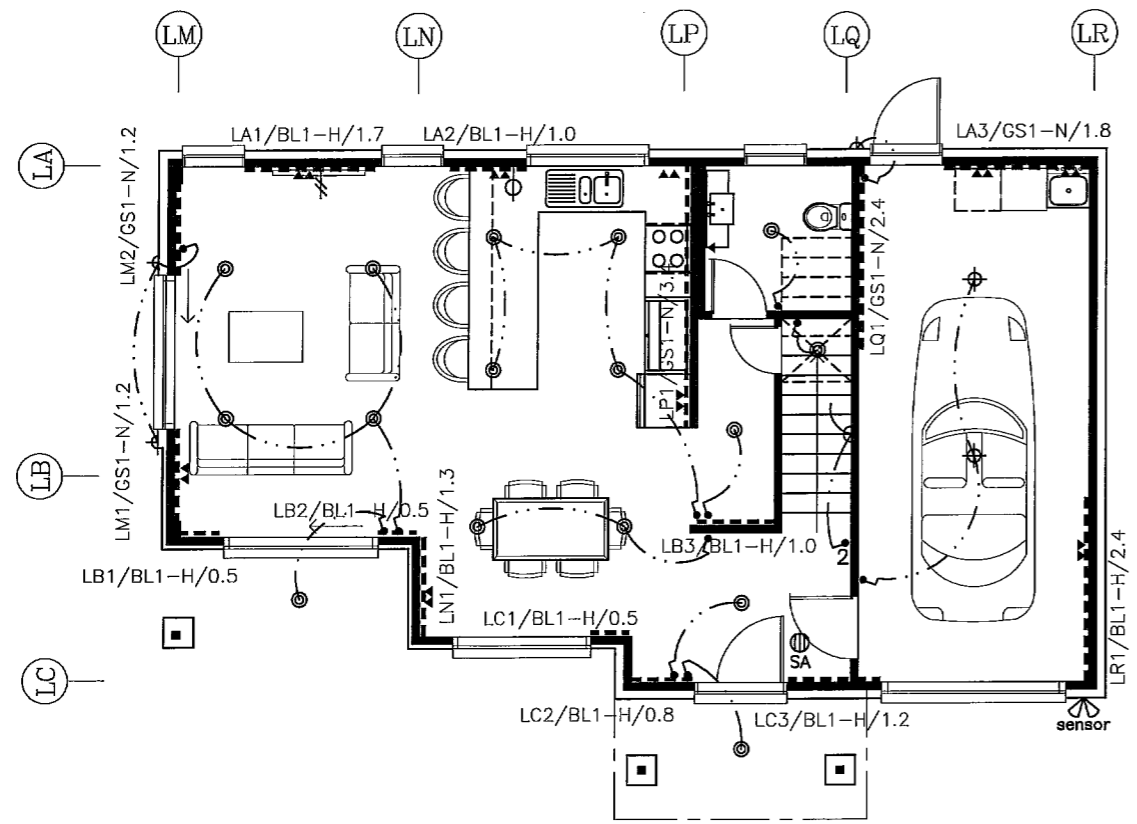
KEY:

Bracing:

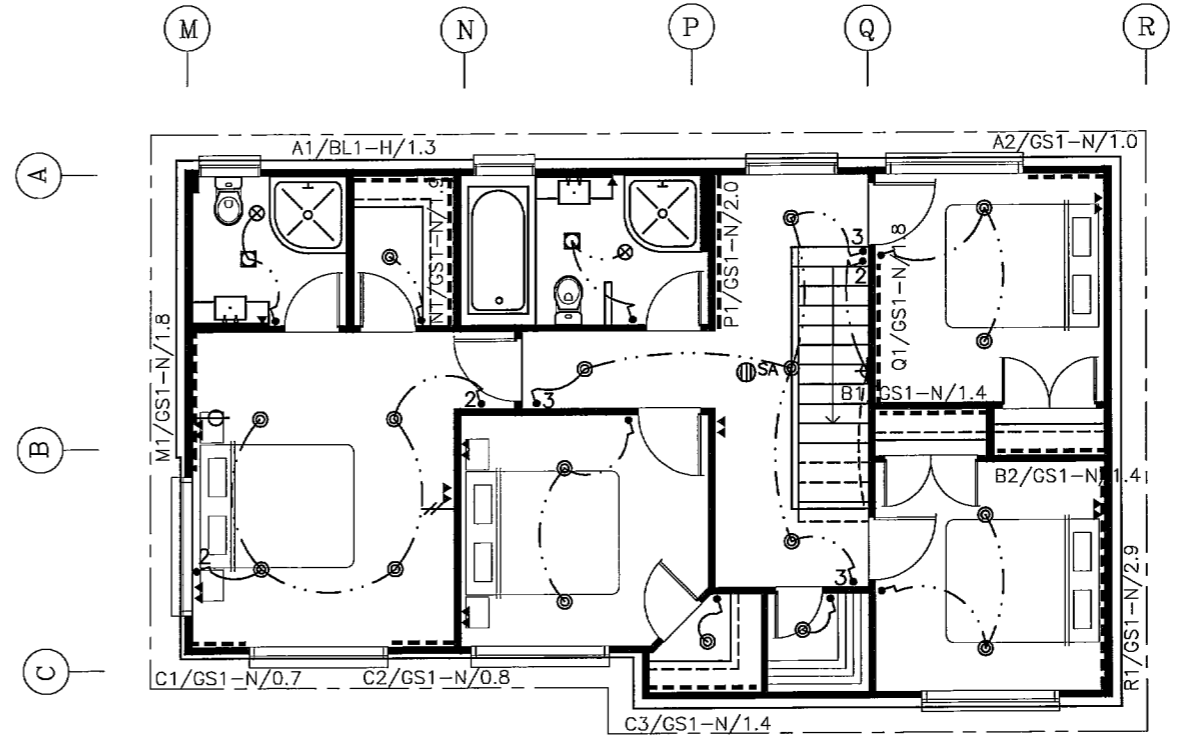
No. ↑ Type ↑ Length

Electrical:

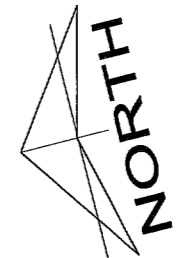
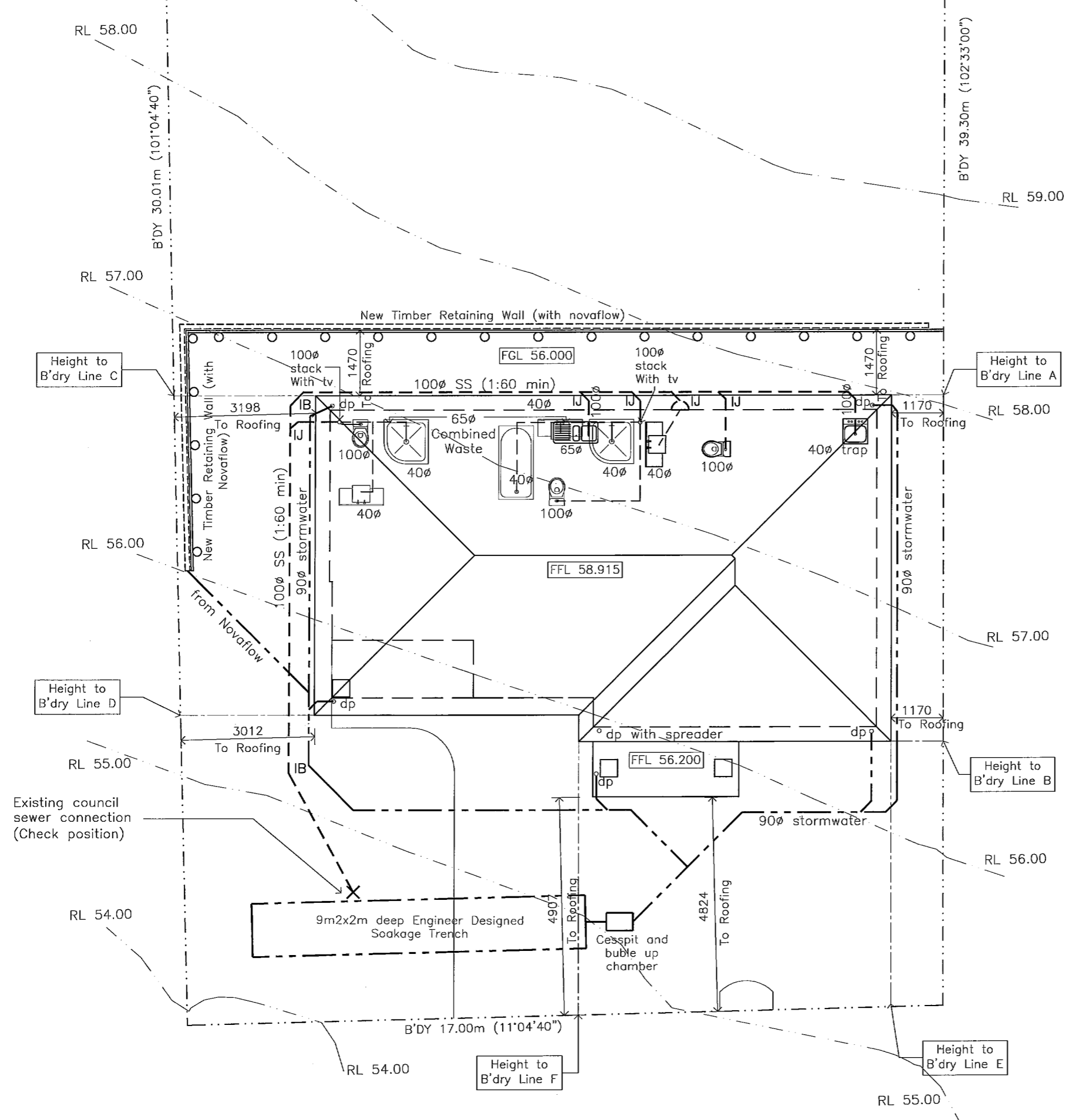
- ⊕ = Security light
- ⊕ = Telephone
- ⊕ = Wall light
- ⊕ = Television
- ⊕ = CA and closed Downlight
- ⊕ = 2 in 1
- ⊕ = Light
- ⊕ = Expelair fan
- ⊕ = Socket
- ⊕ = SA = Smoke Alarm
- ⊕ = Switch



GROUND FLOOR PLAN



FIRST FLOOR PLAN



Lot 65 - DP 392290

NOTE:

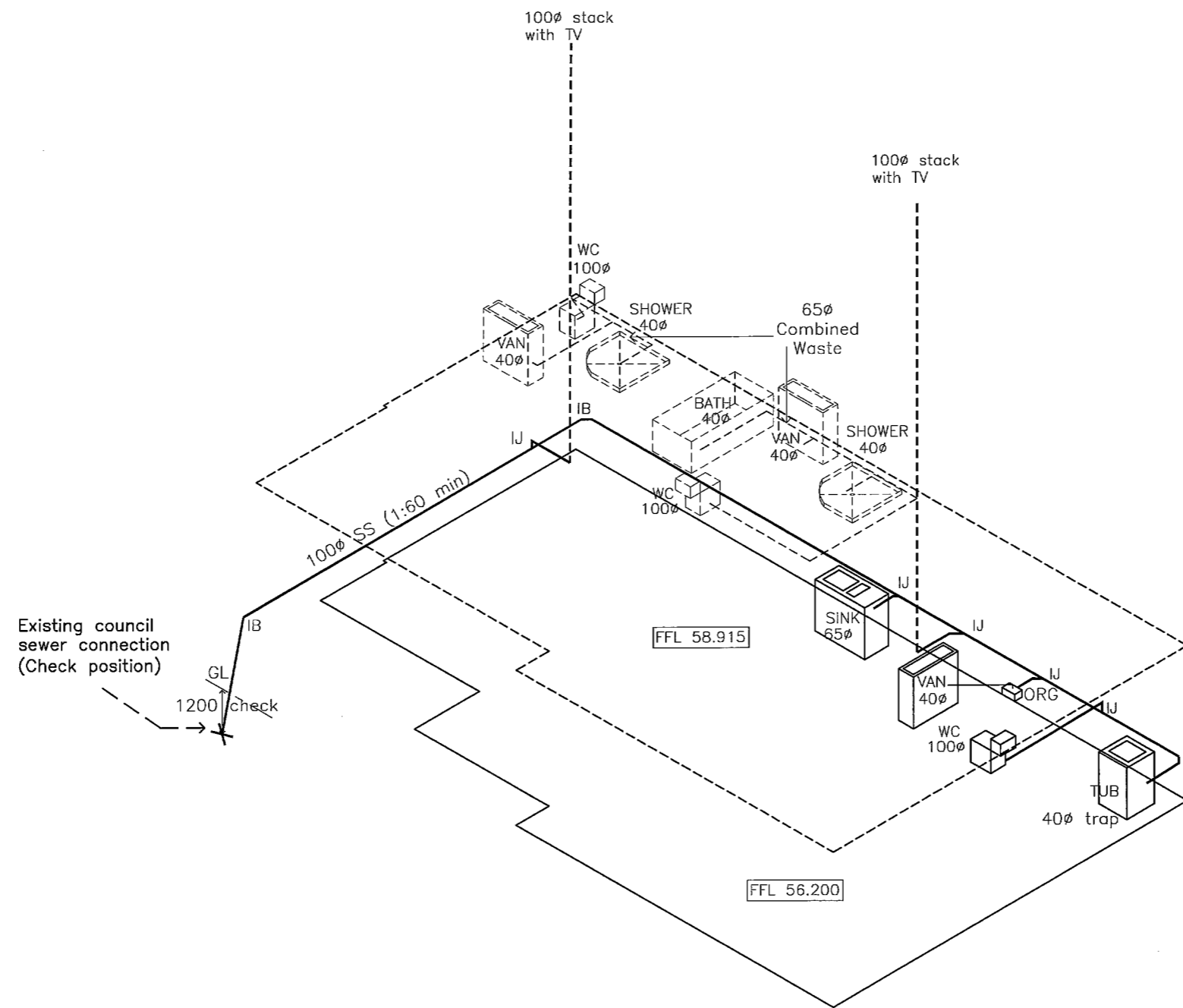
- ALL LEVELS TO BE CHECKED ON SITE PRIOR TO COMMENCING CONSTRUCTION
- ALL PLUMBING TO COMPLY WITH AS/NZS 3500 - FOWL WATER. AND TO HAVE INTERNAL GRADIENTS OF
1:40 FOR UP TO 80Ø
1:60 FOR OVER 80Ø
- ALL FLOORING TO BATHROOM AND TOILET SHALL BE H3.1 TREATED PLYWOOD SHEET
- CHECK POSITION OF DWELLING WITH OWNER PRIOR TO COMMENCING CONSTRUCTION
- CHECK POSITION OF SEWER AND STORMWATER PRIOR TO COMMENCING CONSTRUCTION.

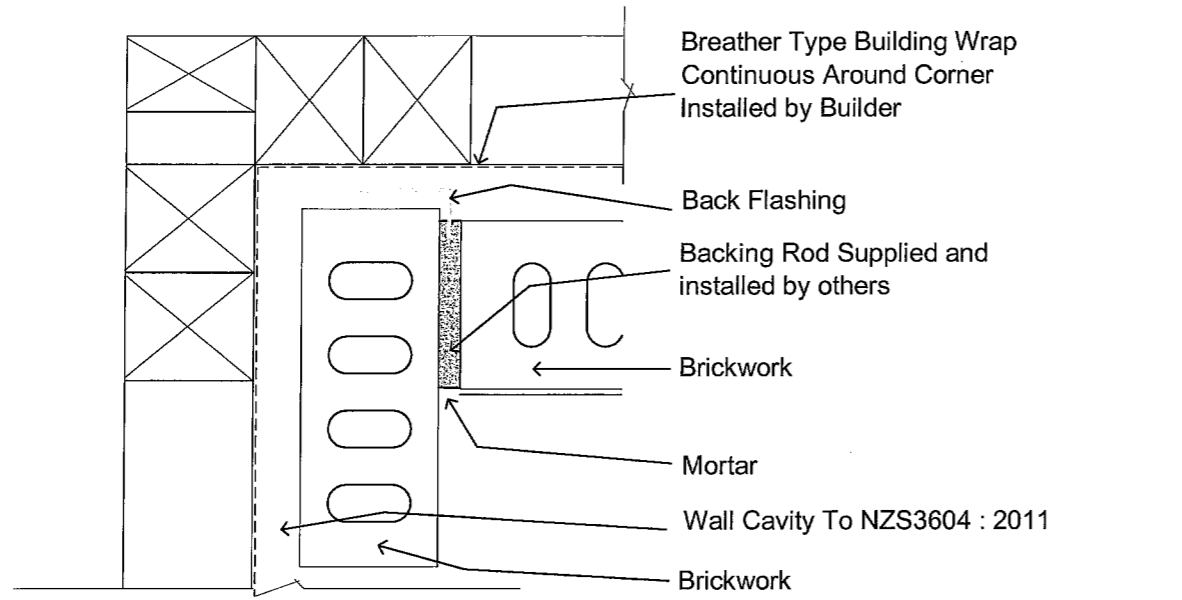
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 DRAINAGE AND
 SITE PLAN

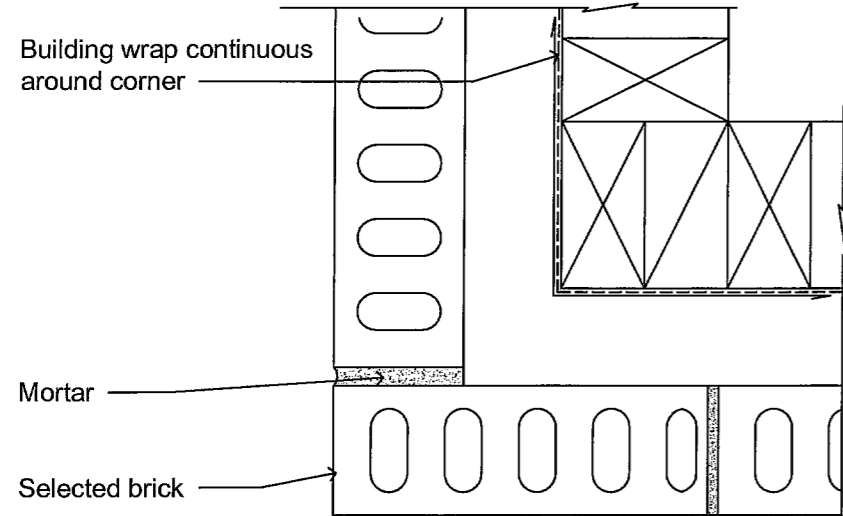
Amendments:	Date: June 2013	No: 14
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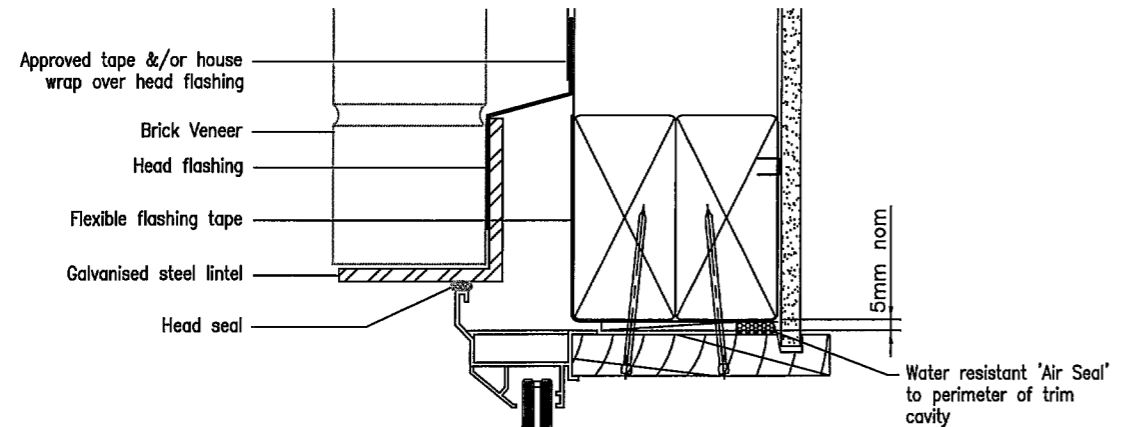


Interior Corner Detail

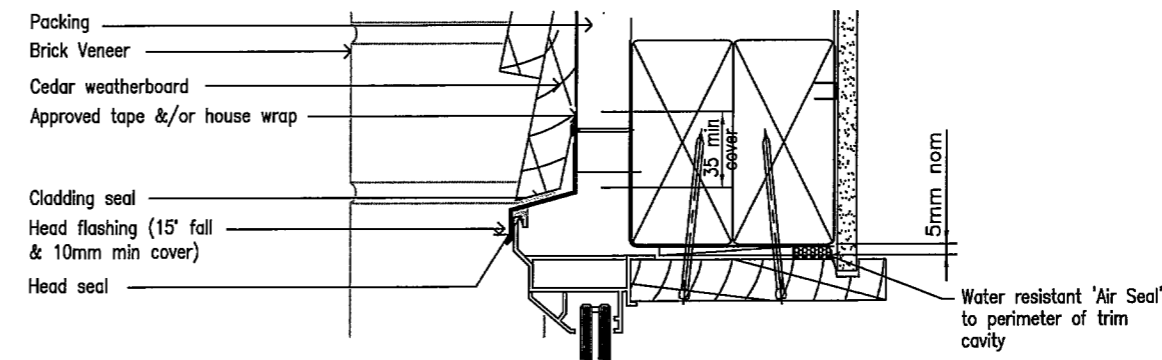
5 screw fixed ties per sq.m 600mm horizontally, 350mm vertically, or alternatively. First brick tie within 3 courses of foundations



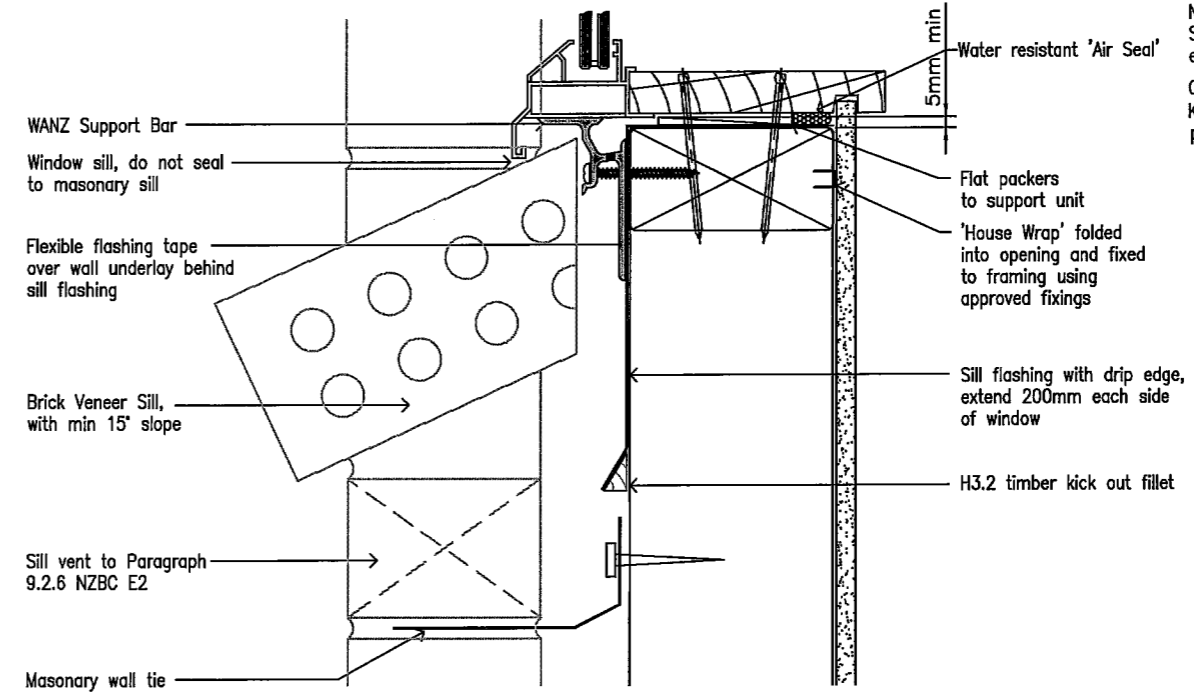
Exterior Corner Detail



HEAD DETAIL WITH BRICK VENEER ABOVE

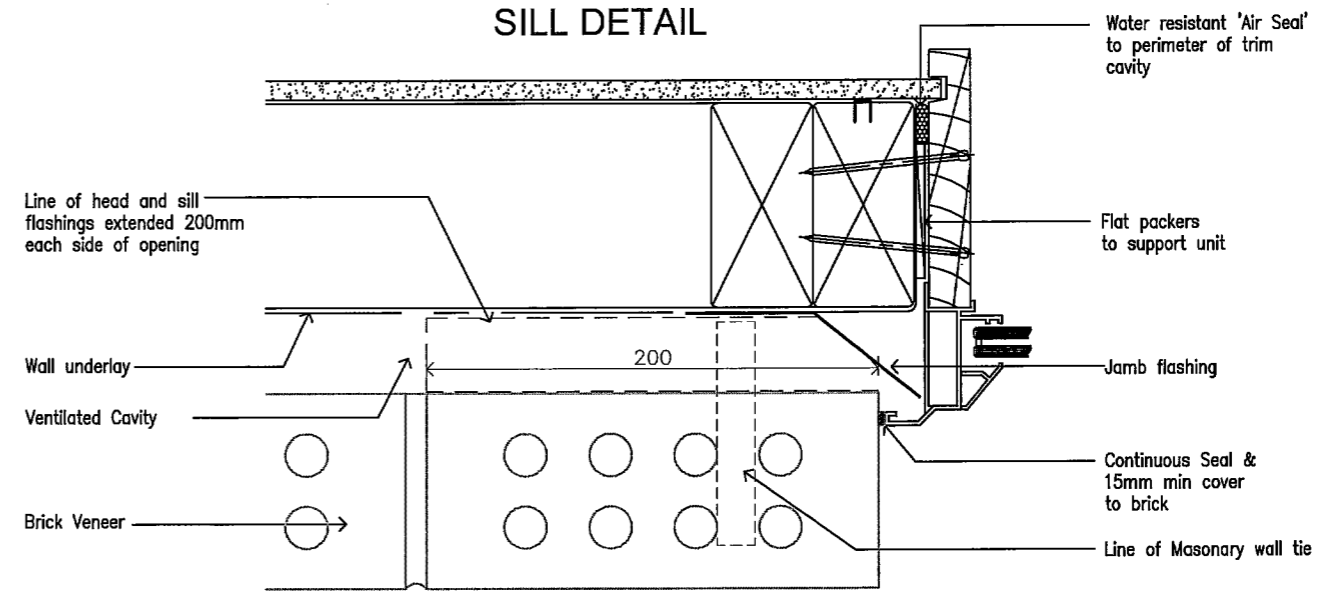


HEAD DETAIL WITH TIMBER SELECTED W'BOARD CLADDING ABOVE



SILL DETAIL

NOTE:
Sill sealing method for flange end type drainage systems
Continuous seal
Keep drainage passage clear



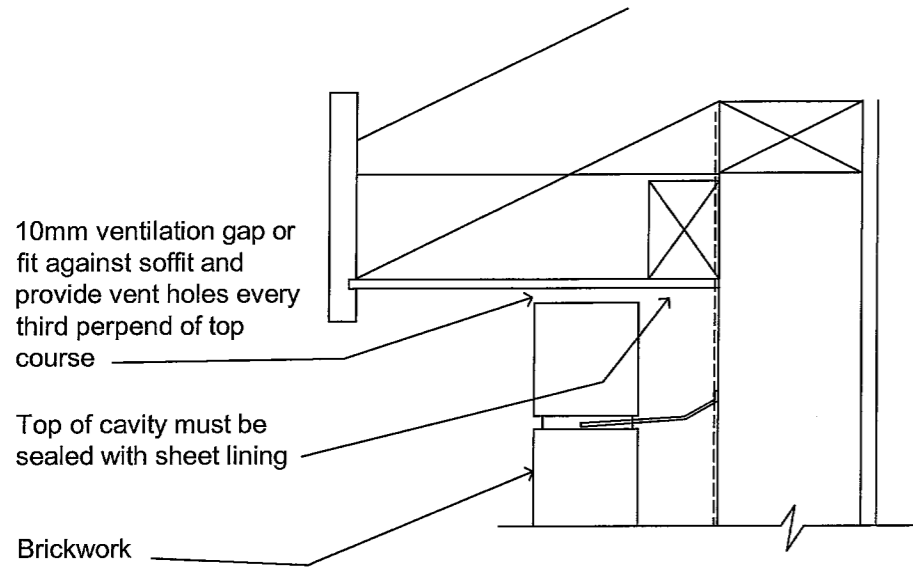
JAMB DETAIL

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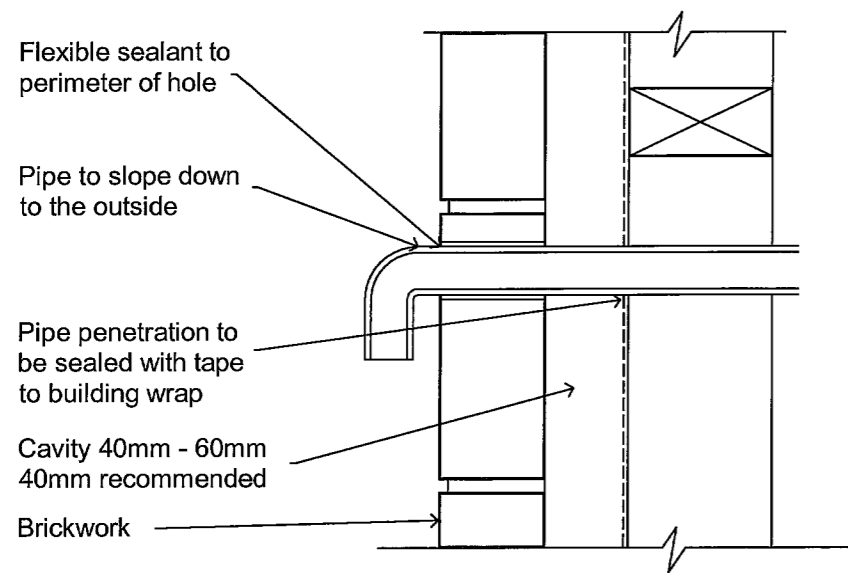
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Drawing Name:
 BRICKWORK DETAILS

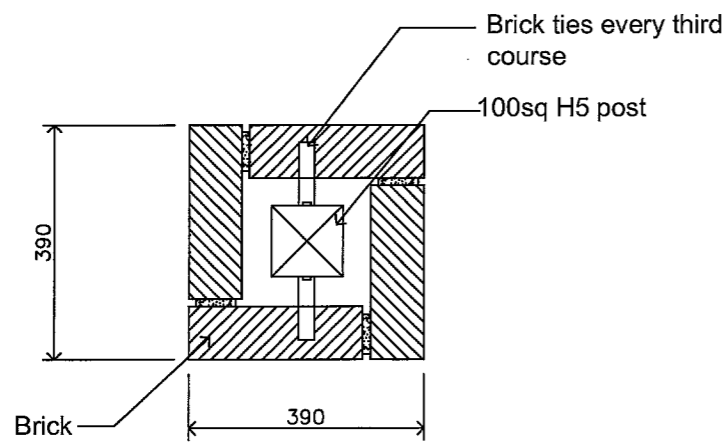
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Flat Soffit Detail

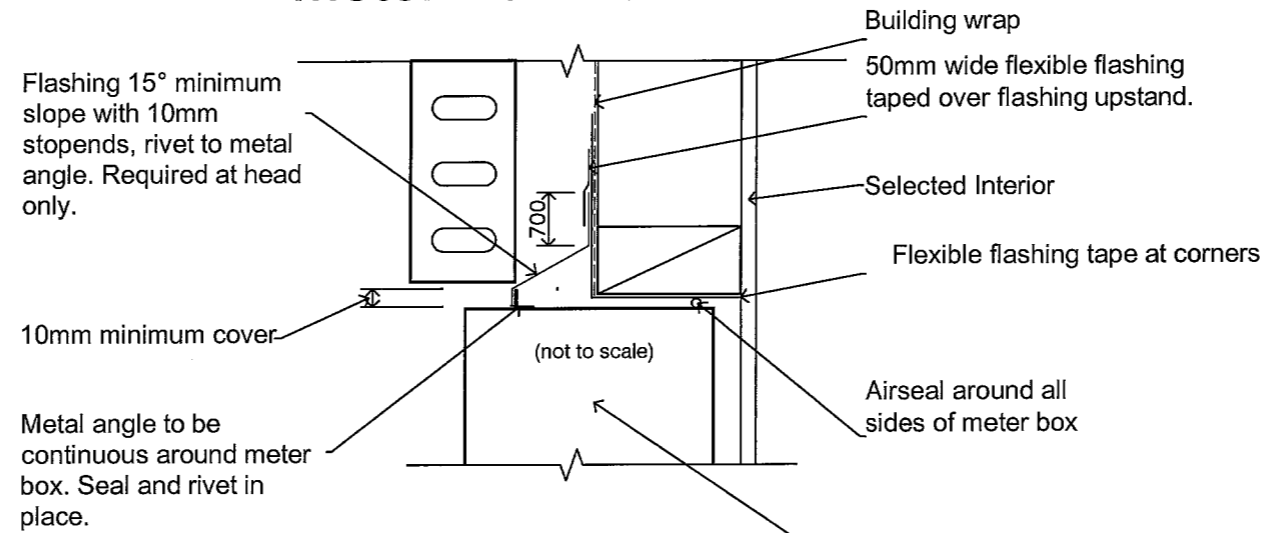


Pipe Penetration

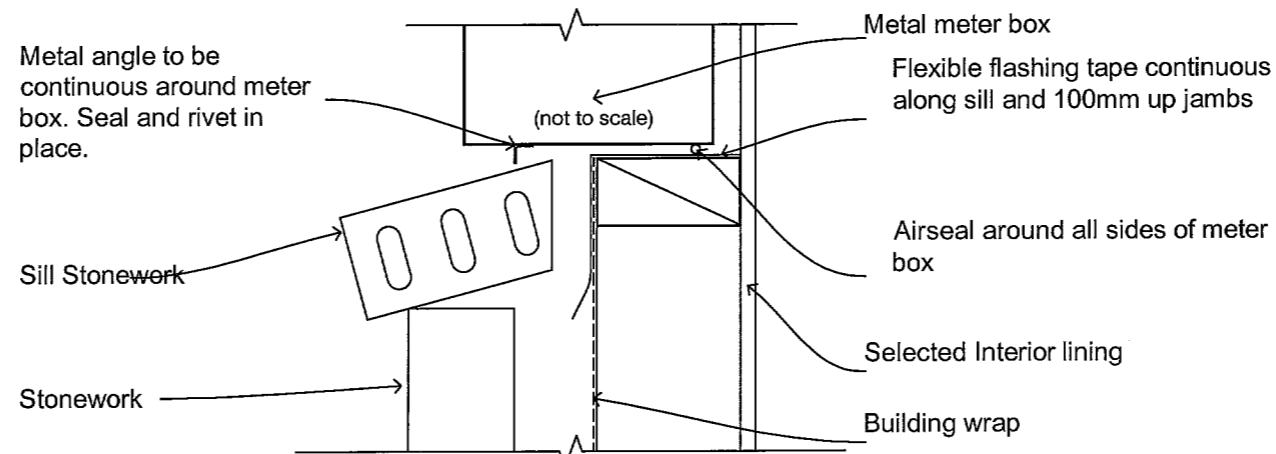


Brick Column

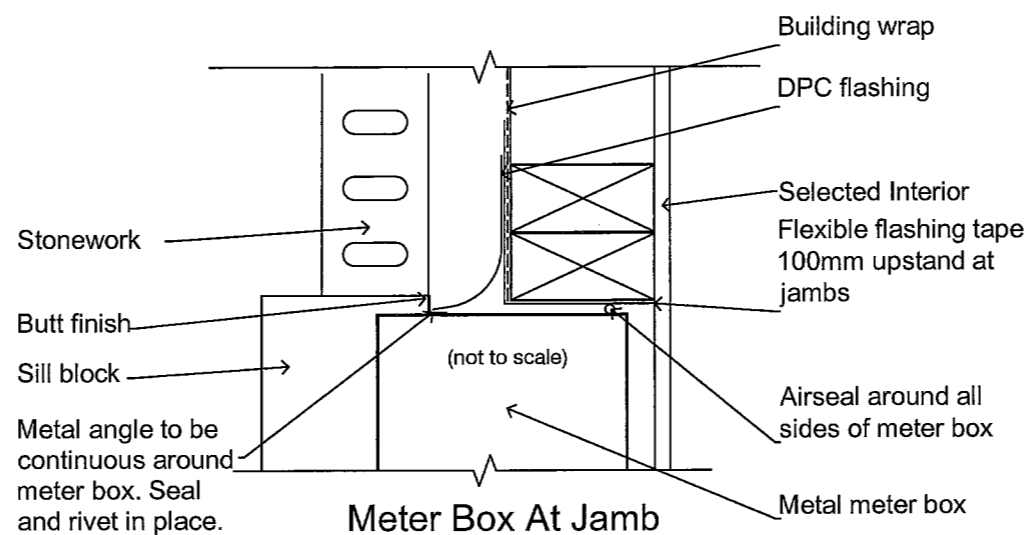
Meter Box installation



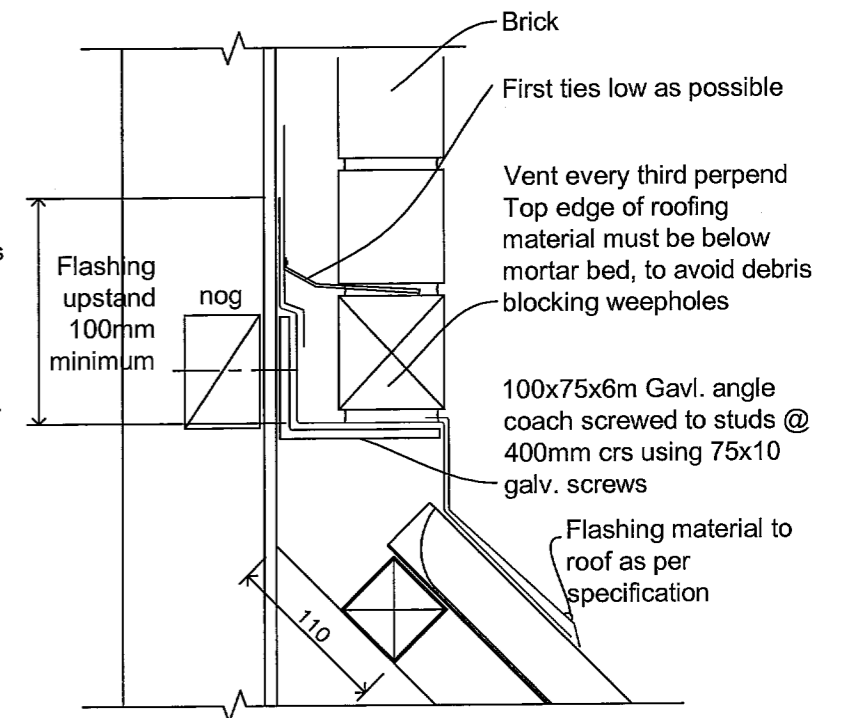
Meter Box At Head



Meter Box At Sill

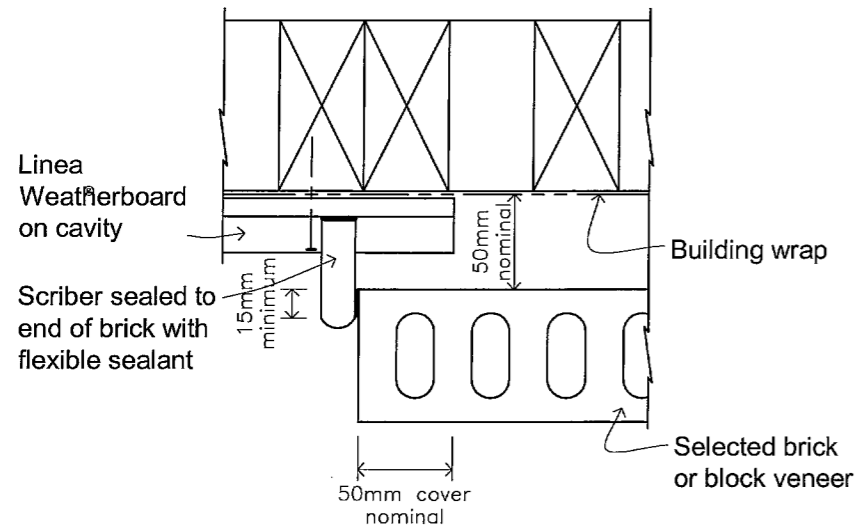


Meter Box At Jamb

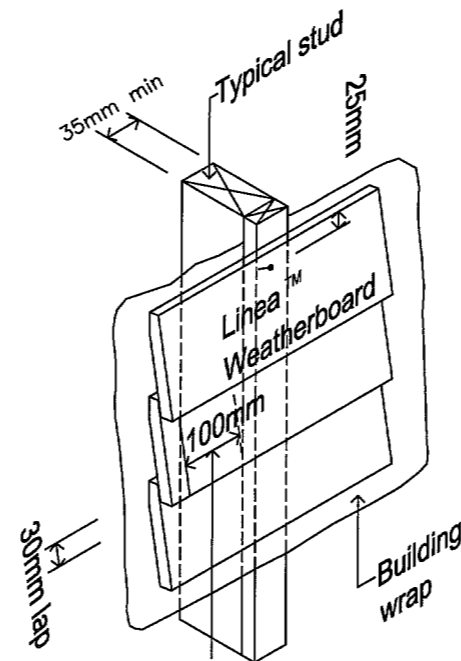


Top Of Roof Slope
Option: Galvanised Steel Shelf Angle

PLAN JUNCTION BETWEEN LINEA WEATHERBOARD OR AND BRICK VENEER

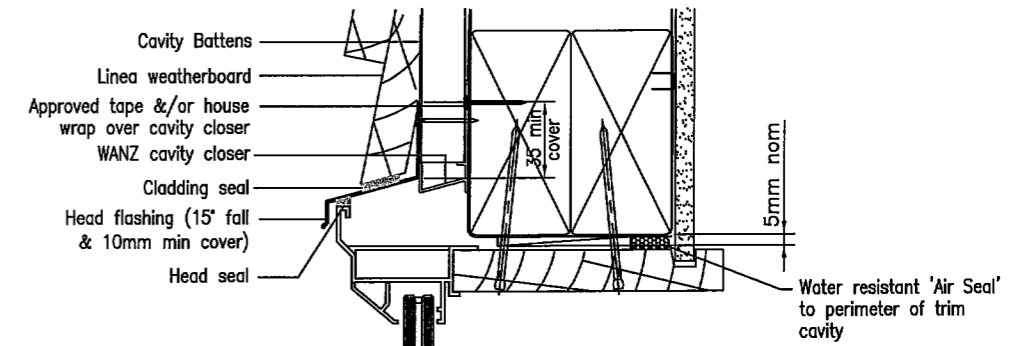


Note: Brick tie to be fixed 70mm minimum from the edge of brick to suit the cladding overlap

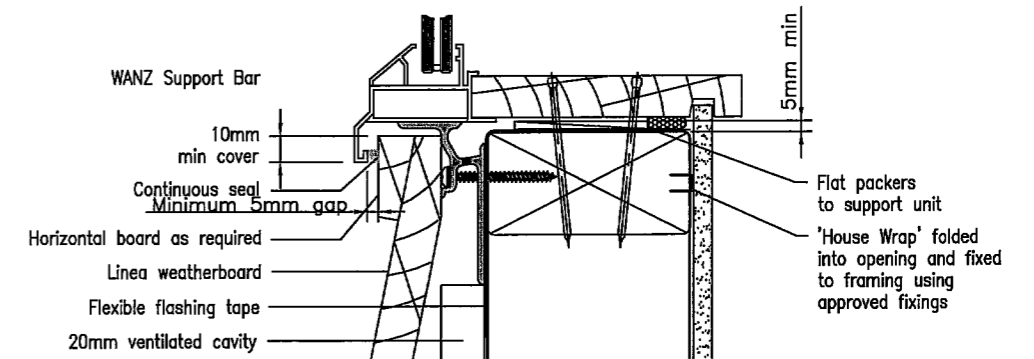


Tongue and groove join in weatherboard to be 100mm minimum from side of stud. Joints must be staggered by 600mm min

Jointing Off Stud

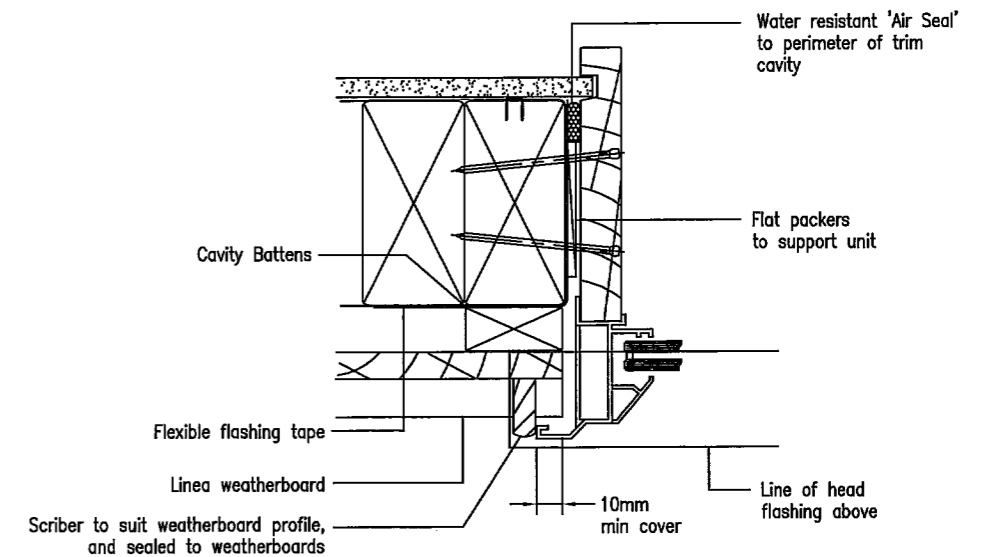
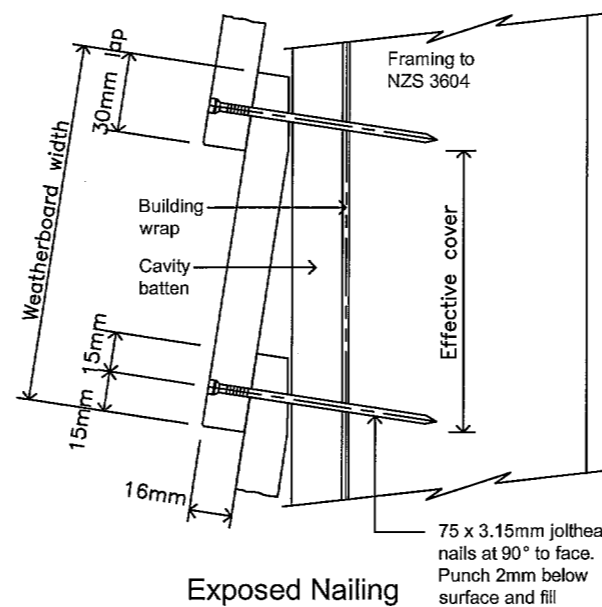
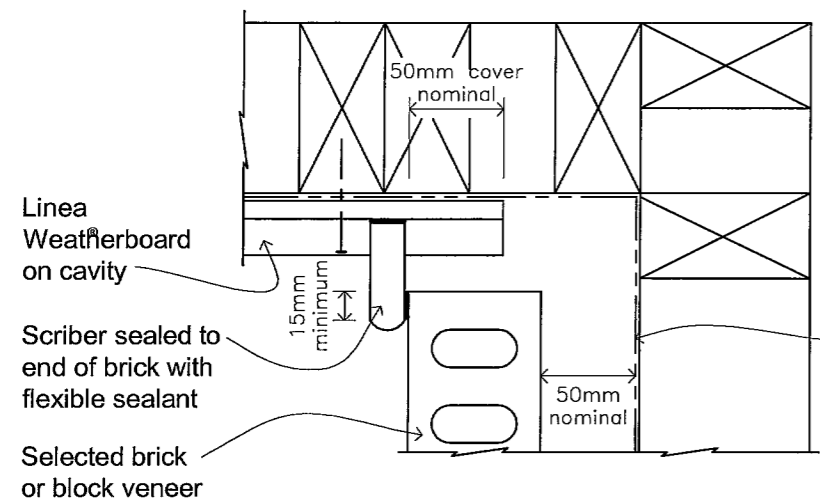


CAVITY FIX WINDOW HEAD WITHOUT FACINGS

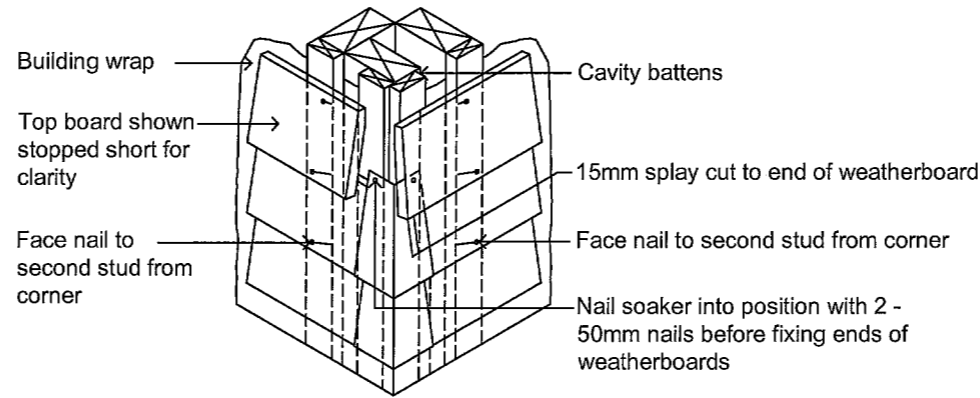
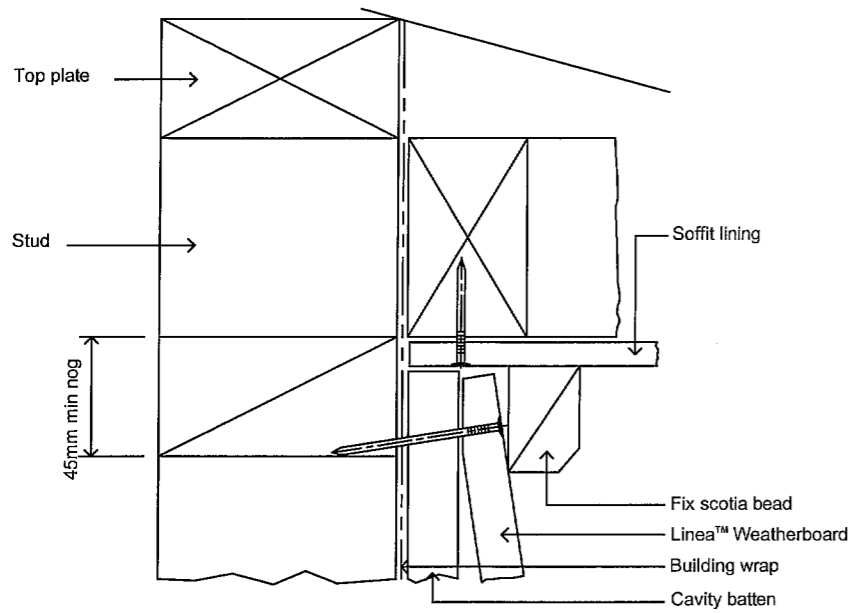


CAVITY FIX WINDOW SILL WITHOUT FACINGS

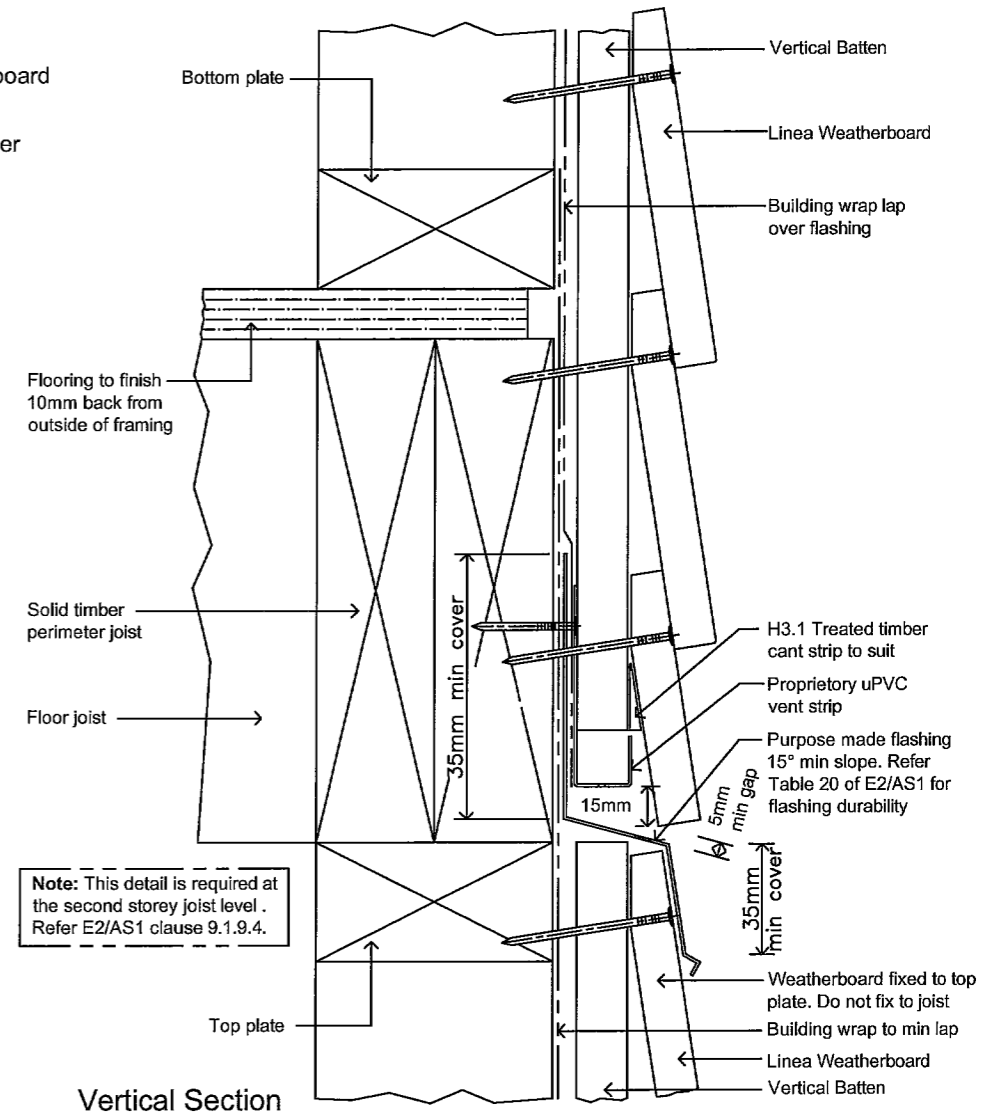
INTERNAL CORNER JUNCTION BETWEEN LINEA WEATHERBOARD AND BRICK VENEER



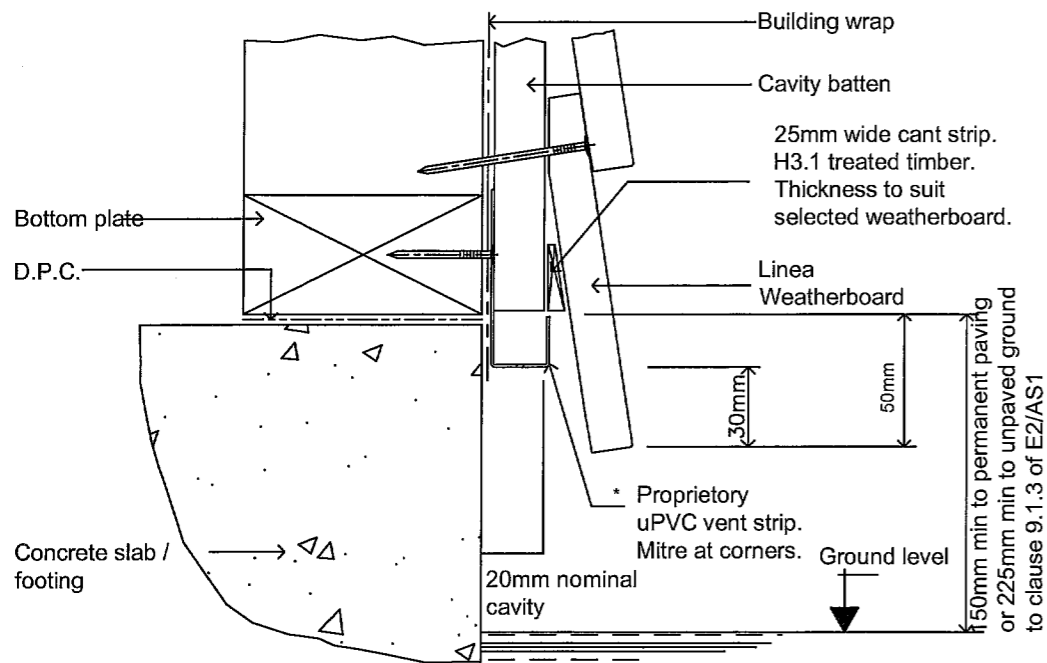
CAVITY FIX WINDOW JAMB WITHOUT FACINGS



Soaker material	Nail material
Copper	Copper or phosphor bronze
Aluminium	Hot dip galvanised
Stainless steel	Stainless steel

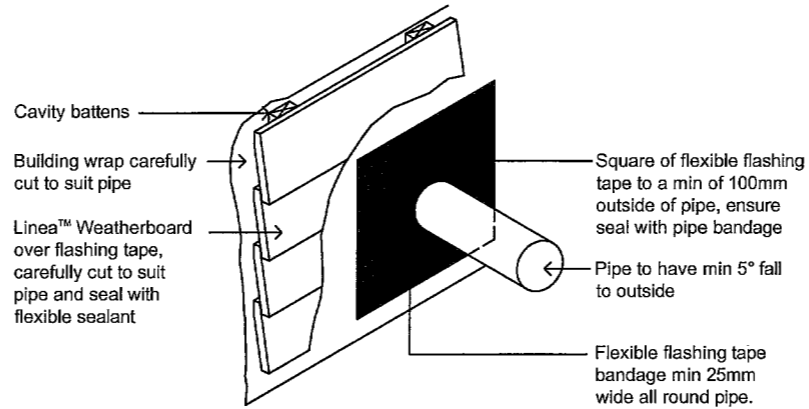


Note: This detail is required at the second storey joist level. Refer E2/AS1 clause 9.1.9.4.



CAVITY FOUNDATION

* Drain holes in Proprietary uPVC vent strip are sufficient to achieve ventilation openings of 1000mm² per lineal metre



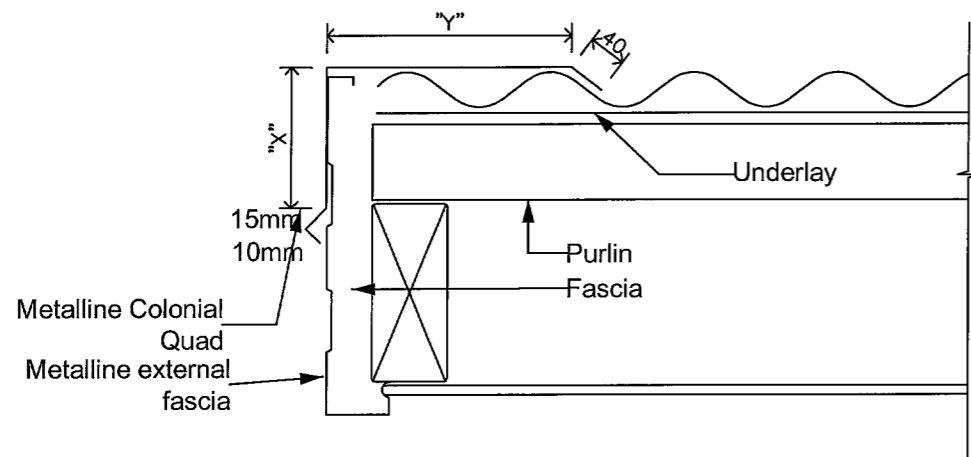
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Drawing Name:
W'BOARD DETAILS

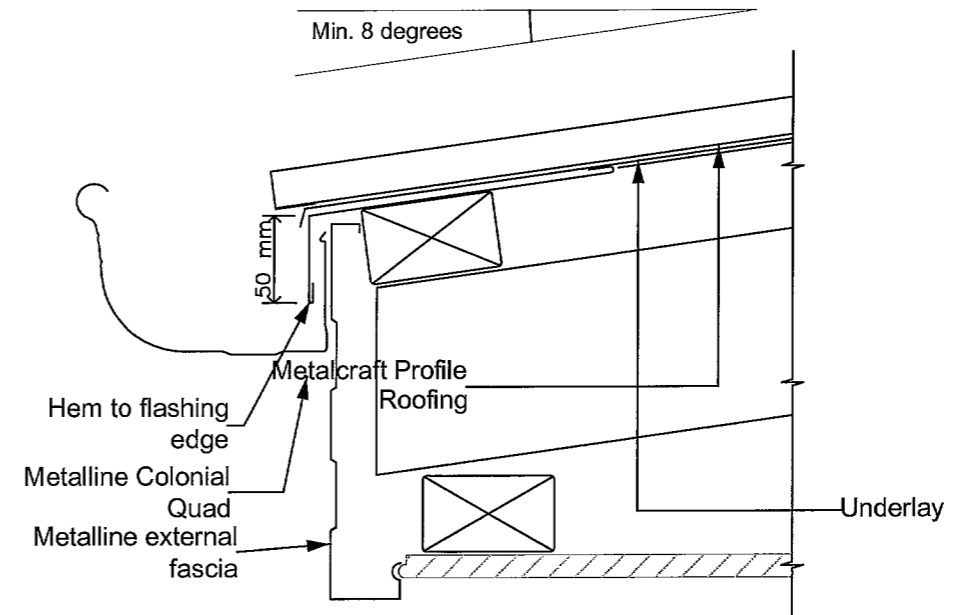
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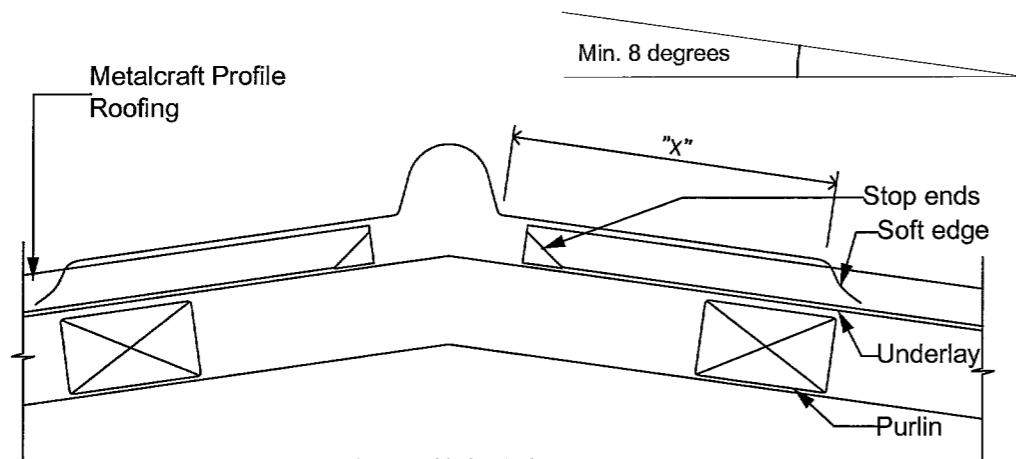


	Low wind zone	High wind zone
X	50mm	75mm
Y	2 corrugations	3 corrugations

This detail is used for: Corrugate Side Barge Detail Metalline Fascia

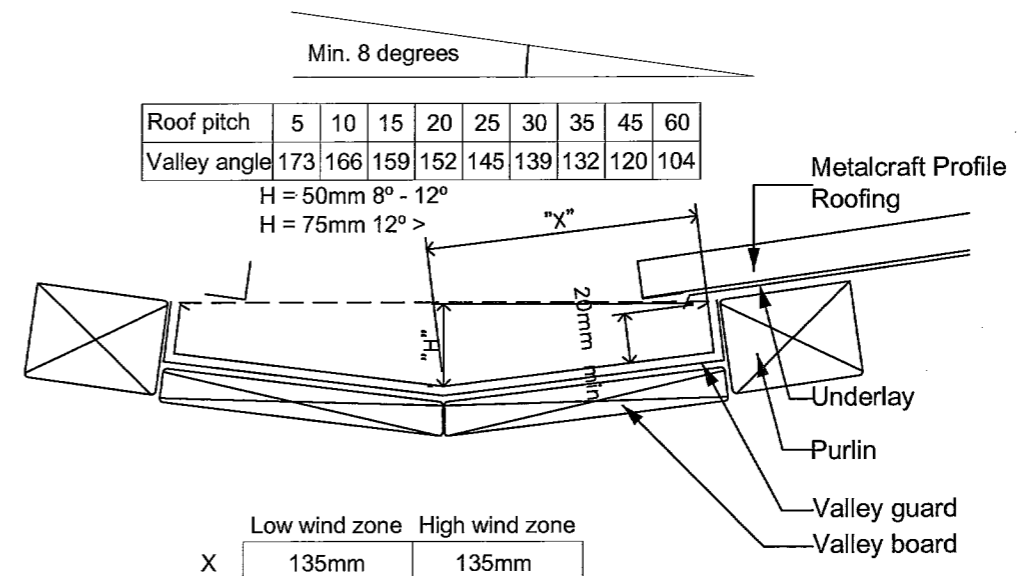


This detail is used for: Corrugate Gutter Flashing Detail Metalline Fascia with Spring Clip



	Low wind zone	High wind zone
X	135mm	200mm

This detail is used for: Corrugate Round Top Ridge Detail

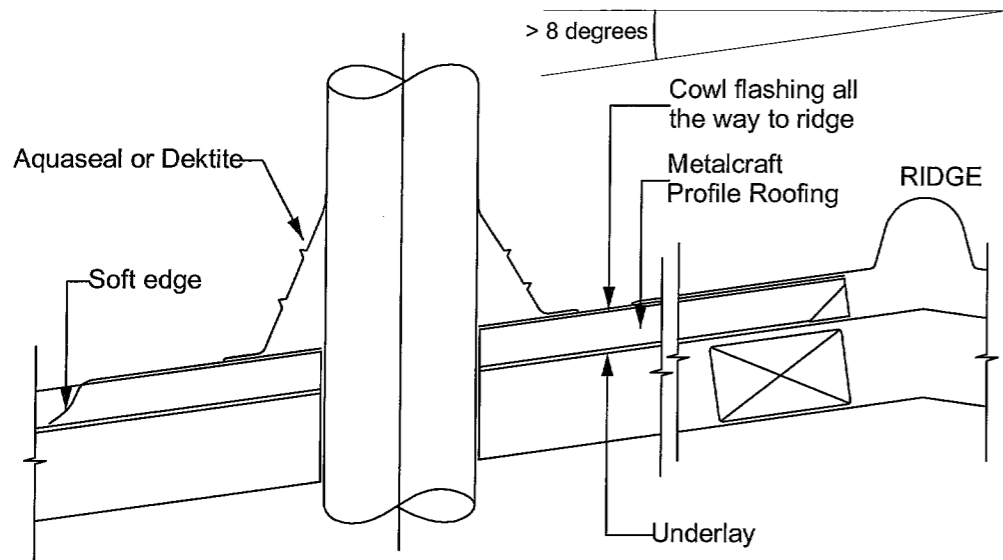


Roof pitch	5	10	15	20	25	30	35	45	60
Valley angle	173	166	159	152	145	139	132	120	104

H = 50mm 8° - 12°
H = 75mm 12° >

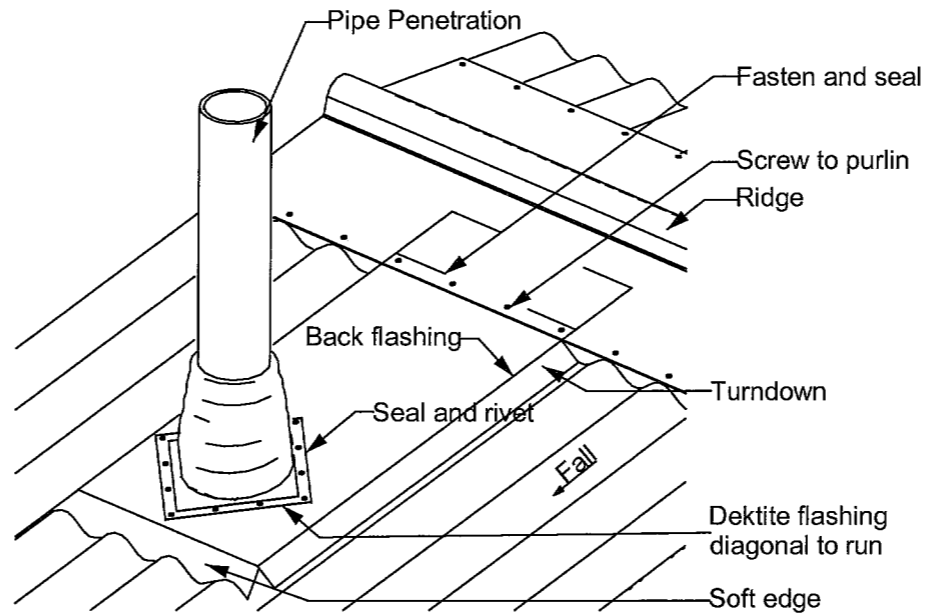
	Low wind zone	High wind zone
X	135mm	135mm

This detail is used for: Corrugate Valley Flashing Detail



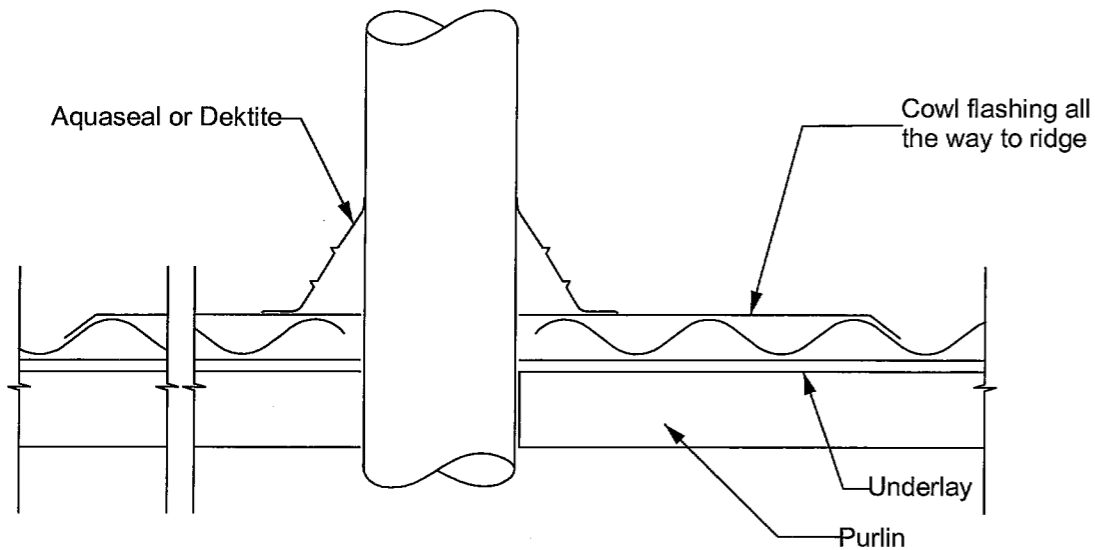
Side View

This detail is used for: Corrugate Metalline Fascia with Spring Clip



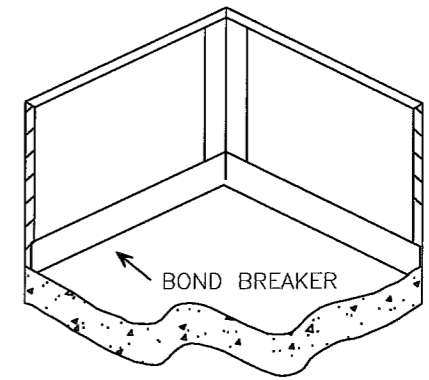
Isometric View

This detail is used for: Corrugate Pipe penetration Detail



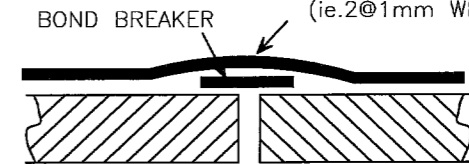
Cross-sectional View

This detail is used for: Corrugate Pipe penetration Detail

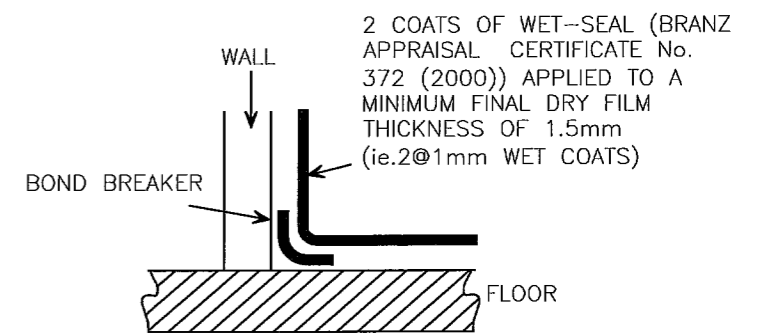


(DIAGRAM:A) FLOOR & WALL JUNCTION

2 COATS OF WET-SEAL (BRANZ APPRAISAL CERTIFICATE No. 372 (2000)) APPLIED TO A MINIMUM FINAL DRY FILM THICKNESS OF 1.5mm (ie.2@1mm WET COATS)



(DIAGRAM:B) FLOOR SHEETING & WALL BOARD JUNCTION



(DIAGRAM:C) FLOOR & WALL JUNCTION

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 19 NorthRidge Dr, Hamilton
 E-mail address: h.b.c@extra.co.nz
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 Fax: (07) 853 2555

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Drawing Name:
 ROOFING AND WET
 AREA DETAILS

Amendments:

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